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To: Councillor Milne, Convener; and Councillors Donnelly and Lawrence

Town House,
ABERDEEN 31 March 2015

LOCAL REVIEW BODY OF ABERDEEN CITY COUNCIL

The Members of the **LOCAL REVIEW BODY OF ABERDEEN CITY COUNCIL** are requested to meet in Committee Room 2 - Town House on **TUESDAY, 7 APRIL 2015 at 11.00 am.**

JANE G. MACEACHRAN
HEAD OF LEGAL AND DEMOCRATIC SERVICES

B U S I N E S S

- 1 Procedure Notice (Pages 1 - 2)

COPIES OF THE RELEVANT PLANS / DRAWINGS ARE AVAILABLE FOR INSPECTION IN ADVANCE OF THE MEETING AND WILL BE DISPLAYED AT THE MEETING

TO REVIEW THE DECISION OF THE APPOINTED OFFICER TO REFUSE THE FOLLOWING APPLICATIONS

- 2 54 Salisbury Terrace - Change of Use from Class 5 (General Industrial) to Car Repair (Class 5) and Care Hire (Sui Generis) - P141473

PLANNING ADVISER - MATTHEW EASTON

- 2.1 Delegated Report (Pages 3 - 14)
- 2.2 Planning Policies referred to in Documents submitted (Pages 15 - 60)

- 2.3 Notice of Review with supporting information submitted by Applicant (Pages 61 - 78)
- 2.4 Determination - Reasons for Decision
- 2.5 Consideration of conditions to be attached if Members are minded to overturn the decision of the Case Officer

Website Address: www.aberdeencity.gov.uk

Should you require any further information about this agenda, please contact Martyn Orchard on 01224 523097 or email morchard@aberdeencity.gov.uk

LOCAL REVIEW BODY OF ABERDEEN CITY COUNCIL

PROCEDURE NOTE

GENERAL

1. The Local Review Body of Aberdeen City Council (the LRB) must at all times comply with (one) the provisions of the Town and Country Planning (Schemes of Delegation and Local Review Procedure) (Scotland) Regulations 2008 (the regulations), and (two) Aberdeen City Council's Standing Orders.
2. In dealing with a request for the review of a decision made by an appointed officer under the Scheme of Delegation adopted by the Council for the determination of "local" planning applications, the LRB acknowledge that the review process as set out in the regulations, shall be carried out in stages.
3. As the first stage and having considered the applicant's stated preference (if any) for the procedure to be followed, the LRB must decide how the case under review is to be determined.
4. Where the LRB consider that the review documents (as defined within the regulations) provide sufficient information to enable them to determine the review, they may (as the next stage in the process) proceed to do so without further procedure.
5. Should the LRB, however, consider that they are not in a position to determine the review without further procedure, they must then decide which one of (or combination of) the further procedures available to them in terms of the regulations should be pursued. The further procedures available are:-
 - (a) written submissions;
 - (b) the holding of one or more hearing sessions;
 - (c) an inspection of the site.
6. If the LRB do decide to seek further information or representations prior to the determination of the review, they will require, in addition to deciding the manner in which that further information/representations should be provided, to be specific about the nature of the information/representations sought and by whom it should be provided.
7. In adjourning a meeting to such date and time as it may then or later decide, the LRB shall take into account the procedures outlined within Part 4 of the regulations, which will require to be fully observed.

DETERMINATION OF REVIEW

8. Once in possession of all information and/or representations considered necessary to the case before them, the LRB will proceed to determine the review.

9. The starting point for the determination of the review by the LRB will be Section 25 of the Town and Country Planning (Scotland) Act 1997, which provides that:-

“where, in making any determination under the planning Acts, regard is to be had to the Development Plan, the determination shall be made in accordance with the Plan unless material considerations indicate otherwise.”
10. In coming to a decision on the review before them, the LRB will require:-
 - (a) to consider the Development Plan position relating to the application proposal and reach a view as to whether the proposal accords with the Development Plan;
 - (b) to identify all other material considerations arising (if any) which may be relevant to the proposal;
 - (c) to weigh the Development Plan position against the other material considerations arising before deciding whether the Development Plan should or should not prevail in the circumstances.
11. In determining the review, the LRB will:-
 - (a) uphold the appointed officers determination, with or without amendments or additions to the reason for refusal; or
 - (b) overturn the appointed officer's decision and approve the application with or without appropriate conditions.
12. The LRB will give clear reasons for its decision in recognition that these will require to be intimated and publicised in full accordance with the regulations.

Agenda Item 2.1

Signed (authorised Officer(s)):

54 SALISBURY TERRACE, ABERDEEN

CHANGE OF USE FROM CLASS 5
(GENERAL INDUSTRIAL) TO CAR REPAIR
(CLASS 5) AND CAR HIRE (SUI GENERIS).

For: Washbay

Application Type : Detailed Planning
Permission

Application Ref. : P141473

Application Date : 30/09/2014

Advert : None

Advertised on : N/A

Officer : Andrew Miller

Creation Date : 9 December 2014

Ward: Airyhall/Broomhill/Garthdee (I Yuill/A
Taylor/G Townson)

Community Council: Comments

RECOMMENDATION:

Refuse

DESCRIPTION

The application site forms a garage falling into Use Class 5 (General Industrial) with the most recent use being a car valeters. The site covers an area of some 266 sq m, and contains two buildings in a L shape with a canopy to the side. The surrounding area is residential, and is zoned as such in the Aberdeen Local Development Plan 2012. The Great Western Road Conservation Area bounds the site to the north west.

RELEVANT HISTORY

130793 – Demolition of garage/car valet business and erection of new house granted Detailed Planning Permission 10 February 2014.

97/1394 – Alteration to form new wash bay granted Detailed Planning Permission 12 September 1997.

94/1288 – Demolition of commercial garage and associated yard area and erection of three terraced dwellinghouses refused Detailed Planning Permission by the Planning committee 19 October 1994.

PROPOSAL

Detailed planning permission is sought for the change of use of the premises from a Car Valeters/Class 5 (General Industrial) to a mix of Car Repair (Class 5) and Car Hire (Sui Generis).

Supporting Documents

All drawings and the supporting documents listed below relating to this application can be viewed on the Council's website at -

<http://planning.aberdeencity.gov.uk/PlanningDetail.asp?ref=141473>

On accepting the disclaimer enter the application reference quoted on the first page of this report.

CONSULTATIONS

Roads Projects Team – Object on the lack of parking provision and the unsuitable layout of parking provided.

Environmental Health – No observations.

Enterprise, Planning & Infrastructure (Flooding) – No observations.

Ashley and Broomhill Community Council – Object to application on basis that:

1. Concern that the applicant proposes to do car repair and car hire from the premises. The applicant also currently carries out body repairs at their existing premises.
2. The surrounding area is residential.
3. Limited parking on site for hire cars and those of customers, staff. It is inevitable there will be overspill on the street.
4. Development will add to congestion on roads in the area.
5. Salisbury Terrace is unsuitable for trucks that would be delivering cars for repair and spare parts. Traffic would have to stop for any deliveries to the site.
6. Would cause problems for refuse vehicles in the street.
7. Car repairs will result in noise from motor vehicles and machinery, impacting on nearby residents.
8. Paint spraying may generate fumes and airborne particulates that would affect nearby residents.
9. All vehicles would have to cross a narrow pavement to enter the premises. Vehicles negotiating the entrance would cause obstruction and hazard,

- representing a danger to all pedestrians, including children going to school.
10. Waste disposal may also be problematic involving chemicals, solvents, paint and car parts.

REPRESENTATIONS

One letter of representation was received though this was out of time, though the matters raised in the objection were also raised by Ashley and Broomhill Community Council (Impact on traffic and pollution from the proposed works) and as such can be taken into account.

PLANNING POLICY

Aberdeen Local Development Plan (ALDP)

H1 – Residential Areas

Within existing residential areas, proposals for non-residential uses will be refused unless:

1. they are considered complementary to residential use; or
2. it can be demonstrated that the use would cause no conflict with, or any nuisance to, the enjoyment of existing residential amenity.

T2 – Managing the Transport Impact of Development

Maximum car parking standards are set out in Transport and Accessibility Supplementary Guidance, detailing the standards that development should provide.

Supplementary Guidance

The Council's Supplementary Guidance – Transport and Accessibility (SG) is a material consideration in this instance.

Proposed Aberdeen Local Development Plan

H1 – Residential Areas

Within existing residential areas, proposals for non-residential uses will be refused unless:

1. they are considered complementary to residential use; or

2. it can be demonstrated that the use would cause no conflict with, or any nuisance to, the enjoyment of existing residential amenity.

T2 – Managing the Transport Impact of Development`

Commensurate with the scale and anticipated impact, new developments must demonstrate that sufficient measures have been taken to minimise traffic generated and to maximise opportunities for sustainable and active travel.

Transport Assessments and Travel Plans will be required for developments which exceed the thresholds set out in Supplementary Guidance.

The development of new communities should be accompanied by an increase in local services and employment opportunities that reduce the need to travel and include integrated walking, cycling and public transport infrastructure to ensure that, where travel is necessary, sustainable modes are prioritised. Where sufficient sustainable transport links to and from new developments are not in place, developers will be required to provide such facilities or a suitable contribution towards implementation.

Further information is contained in the relevant Supplementary Guidance which should be read in conjunction with this policy.

Other Relevant Material Considerations

None.

EVALUATION

Sections 25 and 37(2) of the Town and Country Planning (Scotland) Act 1997 (as amended) require that where, in making any determination under the planning acts, regard is to be had to the provisions of the development plan and that determination shall be made in accordance with the plan, so far as material to the application, unless material considerations indicate otherwise.

The main issues in this instance relate to the principle of the change of use and the capacity of the site to accommodate the proposed change of use.

Principle

The existing use of the building falls within Use Class 5 (General Industrial), with the recent use for Car Valeting falling within this class, along with the use prior to this for Car Repairs. The surrounding area is zoned for residential uses within the ALDP and point 2 of the Community Council response is noted. Associated policy H1 of the ALDP creates a presumption in favour of residential uses, though

where non-residential uses are proposed, these should be complementary to the residential use or not conflict/cause nuisance to the enjoyment of existing residential amenity.

In this instance, there is an established use as a result of the existing activity within the site (garage/car valeting). The proposals seek to operate the business for car repairs, which if it were carried out in its own right would not require a change of use consent as it falls within the use class of the existing activity. However, the applicant is also seeking to operate car hire from the premises, which falls within its own use class (Sui Generis), hence the need for this application.

The introduction of car hire is the main consideration in this instance, and its capacity to be accommodated within the site alongside Use Class 5. Car hire by its own right would have a number of vehicle movements associated with it, and when compared to car repair would have less of an impact on the amenity of neighbouring properties (noise, fumes etc.). However it would also result in noise and activity, although this would be on a lesser scale.

Capacity of Site

Policy T2 of the ALDP requires all new development to demonstrate that sufficient measures have been taken to minimise traffic, whilst also requiring development to accord with car parking standards. Parking standards are defined within the SG.

The applicant's car hire business would involve the leasing of 10 cars, though the supporting statement identifies that vehicles would be out for hire at the majority of the time. In determining the application, a "worst case" scenario should be applied – i.e. all 10 cars would be on site. Parking also needs to be provided in for the car repair element of the proposed use in line with standards. The concerns raised by the Community Council (points 3, 4, 5 and 9 above) are noted.

In this instance, the applicant has indicated 10 parking spaces for the car hire element of the proposals, though has not provided any other parking (for staff, car repair etc.). The parking provision identified for the 10 hire cars is not acceptable, providing no manoeuvrability within the site. The shortfall of parking could result in cars parking on the surrounding streets. The Council's Roads Projects team have identified that the two proposed uses would be unmanageable without the surrounding streets having to accommodate the overspill of parking. The area is currently at capacity with regard to on street parking and volumes of traffic, and as such it is considered the proposed development could add to the problem, having an adverse impact on road safety and the general amenity of the surrounding area.

Taking account of the above considerations, it is considered that the parking provision (layout and shortfall) are unacceptable for the proposed mixed use. The Council's Roads Projects team have concerns about the impact of the proposed use on the surrounding road network, and as such have recommended the application be refused on this basis. The intensified use would result in an adverse impact on the amenity of the neighbouring residential area, contrary to the requirements of policy H1 – Residential Areas of the Aberdeen Local Development Plan 2012.

Matters Raised By Community Council/Objection

In respect of the matters raised by the Community Council in their objection, the applicant does not operate a body shop/car spraying from their current premises, therefore the matter raised in point 1 is irrelevant. Notwithstanding this, the applicant could carry out body repair work within the current use of the building without the need for consent.

Relating to concerns about pollution (noise, fumes etc.) as raised in points 6, 7, 8 and 10 of the representations section, the use of the building for car repairs is currently established under the consented use. Whilst the planning process can to some degree control these matters, other legislation exists controlling these matters where planning cannot (e.g. environmental health).

Proposed Aberdeen Local Development Plan

The Proposed ALDP was approved at the meeting of the Communities, Housing and Infrastructure Committee of 28 October 2014. It constitutes the Council's settled view as to what should be the content of the final adopted ALDP and is now a material consideration in the determination of planning applications, along with the adopted ALDP. The exact weight to be given to matters contained in the Proposed ALDP (including individual policies) in relation to specific applications will depend on whether:

- these matters have been subject to public consultation through the Main Issues Report; and
- the level of objection raised in relation these matters as part of the Main Issues Report; and
- the relevance of these matters to the application under consideration

The foregoing can only be assessed on a case by case basis. In relation to this particular application the relevant policies and designations within the Proposed ALDP are not dissimilar to those within the adopted ALDP.

RECOMMENDATION

Refuse

REASONS FOR RECOMMENDATION

The proposed change of use to a mixed use of car repair and car hire fails to provide sufficient useable parking on site, contrary to the requirements of policy T2 – Managing the Transport Impact of Development of the Aberdeen Local Development Plan 2012 and the parking standards contained within the Council's Supplementary Guidance – Transport and Accessibility. The proposals would also harm the amenity of the surrounding residential area, contrary to the requirements of policy H1 – Residential Areas. The change of use would also be contrary to the requirements of policies T2 – Managing the Impact of Development and H1 – Residential Areas of the Proposed Aberdeen Local Development Plan. There are no material considerations that would alter this assessment.

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Planning Application Reference: 141473

Proposal Description: Change of use from Class 5 (General Industrial) to Car Repair (Class 5) and Car Hire (Sui Generis).

Applicant: Washbay , 54 Salisbury Terrace, Aberdeen , Aberdeen City , AB10 6QH

Comments by Ashley and Broomhill Community Council.

Dear Sirs

The comments on and objections by Ashley and Broomhill Community Council to this planning application are as follows:

This property was marketed with planning permission to build a house. After standing empty for a considerable number of months, the former 'Wash Bay' premises the site was sold for non-residential use. There is concern that the new owners of these premises intend to offer a car repair and car hire business. Their current premises also do body shop and paint spraying. For a very long time (20 years +?) it has operated as a Car Valet Service. While in the past (before the car valet) this address did operate as a car repair workshop, Ashley and Broomhill Community Council would suggest that such a change of use should not be permitted .

Reasons include:

1. Salisbury Terrace is in a residential area.
2. There is very limited space at the site for customer parking, staff parking and the parking of cars to be hired / being returned from hire. It is inevitable that customer, hire and staff cars will be parked on the street, as will other vehicles appropriate to that business.
3. Recent traffic surveys show the area to be heavily congested with residents parked cars at all times. Extra traffic/demand for parking will add to the strain.
4. The same surveys show Salisbury Terrace to be unsuitable for trucks, such as those who would be transporting damaged cars, or delivering spare parts. The access to the premises is very restricted.
5. It is likely that, traffic would have to stop while deliveries are made. Salisbury Terrace is a convenient route for drivers crossing the city at all times, as it provides an alternative to North Anderson Drive. This would cause problems to commuters across the city. It could also cause problems for ACC refuse collection vehicles.

6. The nature of a repair and body shop business will generate noise from motor vehicles and machinery required that nearby residents will have to suffer.
7. Paint Spraying may generate fumes that nearby residents could be affected by. Body shop activities may also generate airborne particulates.
8. It is possible that paints and chemicals would be stored at the premises, and this too is a cause for concern to residents
9. All vehicles would have to cross a narrow pavement to enter the premises. Vehicles negotiating the entrance would cause obstruction and hazard. This represents a danger to all pedestrians, not just primary school children going to Broomhill, or older pupils walking to nearby schools.
10. Waste disposal may also be problematical, and may involve chemicals, solvents, paint, and car parts.

It should be noted that the notification of this planning application was not received in time for consideration at the meeting of the community council on 2nd October 2014. The proposed development of this site was discussed at the next community council meeting held on 6th November 2014. This document has been prepared and submitted following the discussion concerning the development of this site at the community council meeting held on 6th November 2014.

The view of the community council is that this application should be rejected.

Richard Butler



6th November 2014

Secretary

Ashley and Broomhill Community Council

e-mail:

14/4/73

47 Salisbury Terrace
Aberdeen

AB10 6QG

611114

Planning Dept
Fao A. Miller

Dear Mr Miller

I am very worried about the change of use application for no 54 Salisbury Terrace.

I did not receive notification of this in the post, nor were there any posters on the street.

As a close neighbour I protest in the strongest possible terms. Parking and traffic flow is already a nightmare. The street is narrow and is easily congested by trucks & larger vehicles. The nature of this business (currently ^a ~~holder~~ car body shop) would cause nuisance & distress in the form of noise, fumes, dust as well as staff/ customers / hire cars cluttering up the street.
Please reject this application

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Policy H1 - Residential Areas

Within existing residential areas (H1 on the Proposals Map) and within new residential developments, proposals for new residential development and householder development will be approved in principle if it:

1. does not constitute over development;
2. does not have an unacceptable impact on the character or amenity of the surrounding area;
3. does not result in the loss of valuable and valued areas of open space. Open space is defined in the Aberdeen Open Space Audit 2010;
4. complies with Supplementary Guidance on Curtilage Splits; and
5. complies with Supplementary Guidance on House Extensions.

Within existing residential areas, proposals for non-residential uses will be refused unless:

1. they are considered complementary to residential use; or
2. it can be demonstrated that the use would cause no conflict with, or any nuisance to, the enjoyment of existing residential amenity.

Policy T2 - Managing the Transport Impact of Development

New developments will need to demonstrate that sufficient measures have been taken to minimise the traffic generated.

Transport Assessments and Travel Plans will be required for developments which exceed the thresholds set out in the Transport and Accessibility Supplementary Guidance. Planning conditions and/or legal agreements may be imposed to bind the targets set out in the Travel Plan and set the arrangements for monitoring, enforcement and review.

Maximum car parking standards are set out in Supplementary Guidance on Transport and Accessibility and detail the standards that different types of development should provide.

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Supplementary Guidance

Topic: Transport and Accessibility

March 2012

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1. INTRODUCTION

Good transport connections are essential to the economic prosperity of Aberdeen and the quality of life of people living and working in the City. With an emphasis on ensuring that transport provision is considered from the very outset of a planning application, the Council is committed to developments that encourage sustainable travel.

This Supplementary Guidance on Transport and Accessibility aims to assist developers in the preparation of planning applications. This document examines a number of transport and accessibility issues that may have to be considered as part of a planning application and should be read in conjunction with the Aberdeen Local Development Plan and the Local Transport Strategy.

2. STANDARDS FOR ACCESSIBILITY AND PUBLIC TRANSPORT SERVICES

The ability to access key services and facilities directly affects quality of life and is a major contributor to social inclusion. New and existing communities should be able to access services, facilities and jobs by walking, cycling and public transport.

Developments should be linked by the most direct, attractive, safe and secure pedestrian links possible to potential trip sources within 800 metres of the development.

Public transport should be available within 400 metres of the origins and destinations of trips within the development. Public transport provision should be at a frequency, times and to places that;

- Are at intervals of no more than 15 minutes, and ideally 10-12 minutes;
- Meet the needs of those without access to a car who would wish to access the development; and
- Provide an effective alternative for those that do have access to a car.

Developers will be required to provide for the appropriate level of service identified through a transport assessment, if this level will not be provided commercially by a bus operator.

In all cases developers should engage with the Council and relevant partners (such as Nestrans and public transport operators) at an early stage in the masterplan and/or planning application process to discuss the arrangements and requirements for providing new public transport services.

Accessibility Planning software, such as Accession, may be used as a tool to assess potential development locations and then guide decisions on development proposals. Accessibility planning involves measuring journey times to services and facilities and identifying the most suitable locations for new development or particular services and facilities. By measuring accessibility to services/facilities by public transport this process can also be used to improve the quality and availability of public transport to existing and future users or customers. In doing so, Accessibility Planning provides opportunities to improve social inclusion.

3. ACCESS AND PERMEABILITY

The ability to access, move around and through the built and natural environment by walking and cycling is a major contributor to quality of life and, in particular, an individual's ability to freely access the services and facilities they need without using a vehicle. New development will be required to protect and enhance existing access rights including core paths, rights of way and paths within the wider network.

The Land Reform (Scotland) Act 2003 introduced the right of responsible non-motorised access to most land and inland water in Scotland. The Land Reform Act also introduced statutory duties on Aberdeen City Council requiring it to protect access rights, including core paths and other paths within the wider paths network. In addition, the Council has a duty under the Countryside (Scotland) Act 1967 to uphold access along any public right of way.

In planning the layout of new development, the Core Paths Plan (2009) and Open Space Strategy (2011) should be taken into account, including routes referred to as 'aspirational' in the Core Paths Plan. New development must be permeable to walkers and cyclists and should ensure that new routes are planned in accordance with the 5 C's – connected, convenient, comfortable, convivial and conspicuous – as referred to in the Aberdeen Local Transport Strategy 2008 - 2012.

The Aberdeen Outdoor Access Forum brings together key stakeholders involved with access to the outdoors. The Forum has an input to access provision relating to new development, and will assist the Council in the resolution of any outdoor access disputes where there are conflicts between the provision of new or improved access routes and neighbouring land uses.

Further guidance on the following access issues can be found in the documents listed below.

Standards for path construction	Lowland Path Construction: A Guide to Good Practice Paths for All (2001)
Standards for signage design	Signage Guidance for Outdoor Access: A Guide to Good Practice Paths for All (2009)
	Directional Signage Guidance for Paths Aberdeen City Council (2011)

4. GUIDELINES & SPECIFICATIONS GUIDANCE

The Council is undertaking a review of its 1998 publication “Guidelines and Specification for Roads within Residential and Industrial Developments” which sets out the technical requirements for designing new roads, parking facilities, and walking and cycling infrastructure. The review takes account of the Scottish Government’s Policy Statement Designing Streets (2010). The Council intends to publish a fully revised version of the technical guidelines in due course and officers are progressing this detailed work. In the meantime, the Local Development Plan has taken account of Designing Streets by including a Roads Descriptor’ Map which categorises the road network according to the principles of Designing Streets (see Figure 1 and 2 below). This will form part of the full review document but is being published as part of this Supplementary Guidance in order to guide the planning and delivery of different types of roads that the Council will expect to be provided to support new developments.

For the avoidance of any doubt, we would recommend that developers speak to the Roads Design Team at the earliest possible stage in the planning application process to determine an appropriate design and layout for development.

Figure 1 – Roads Descriptor Map

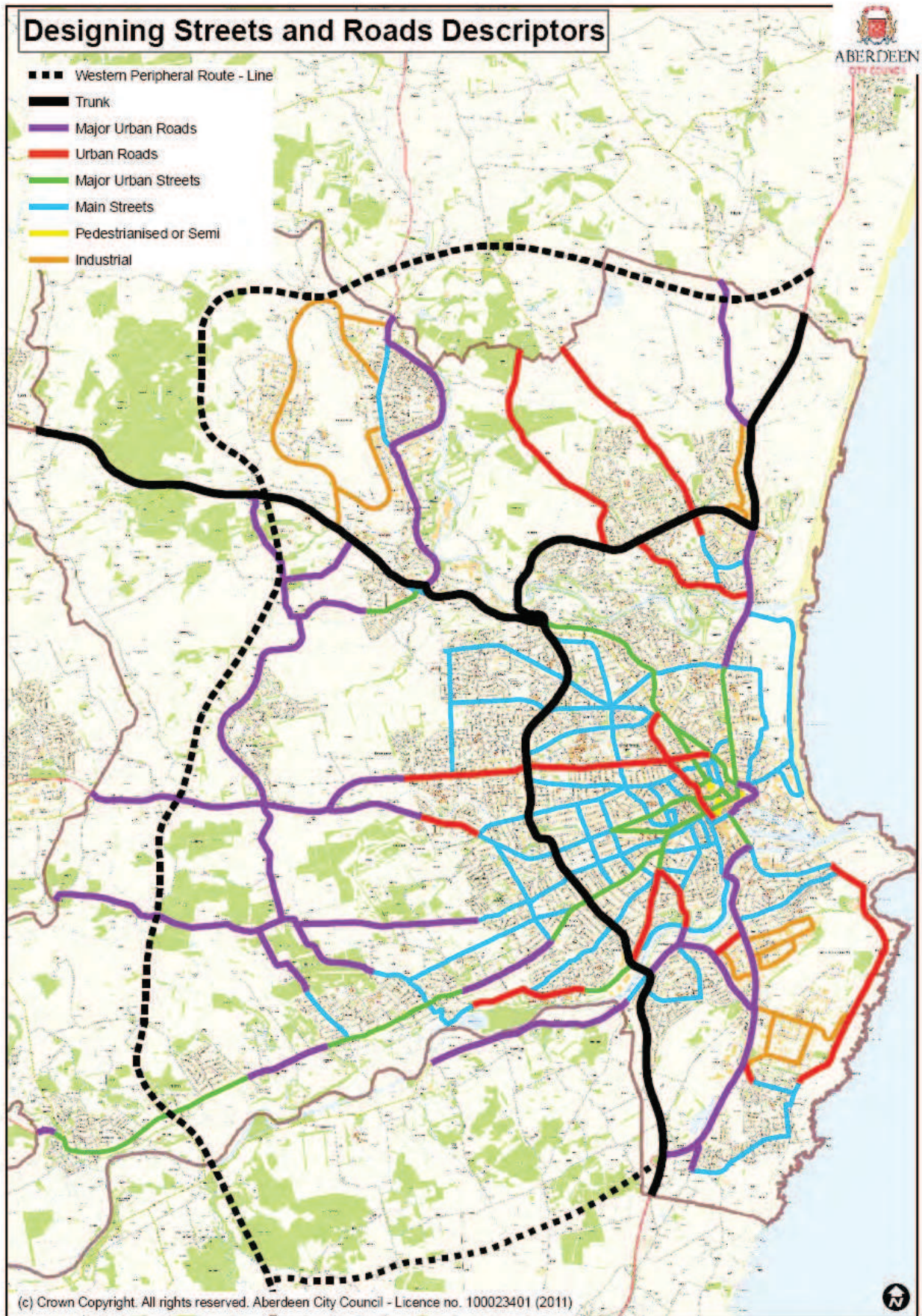
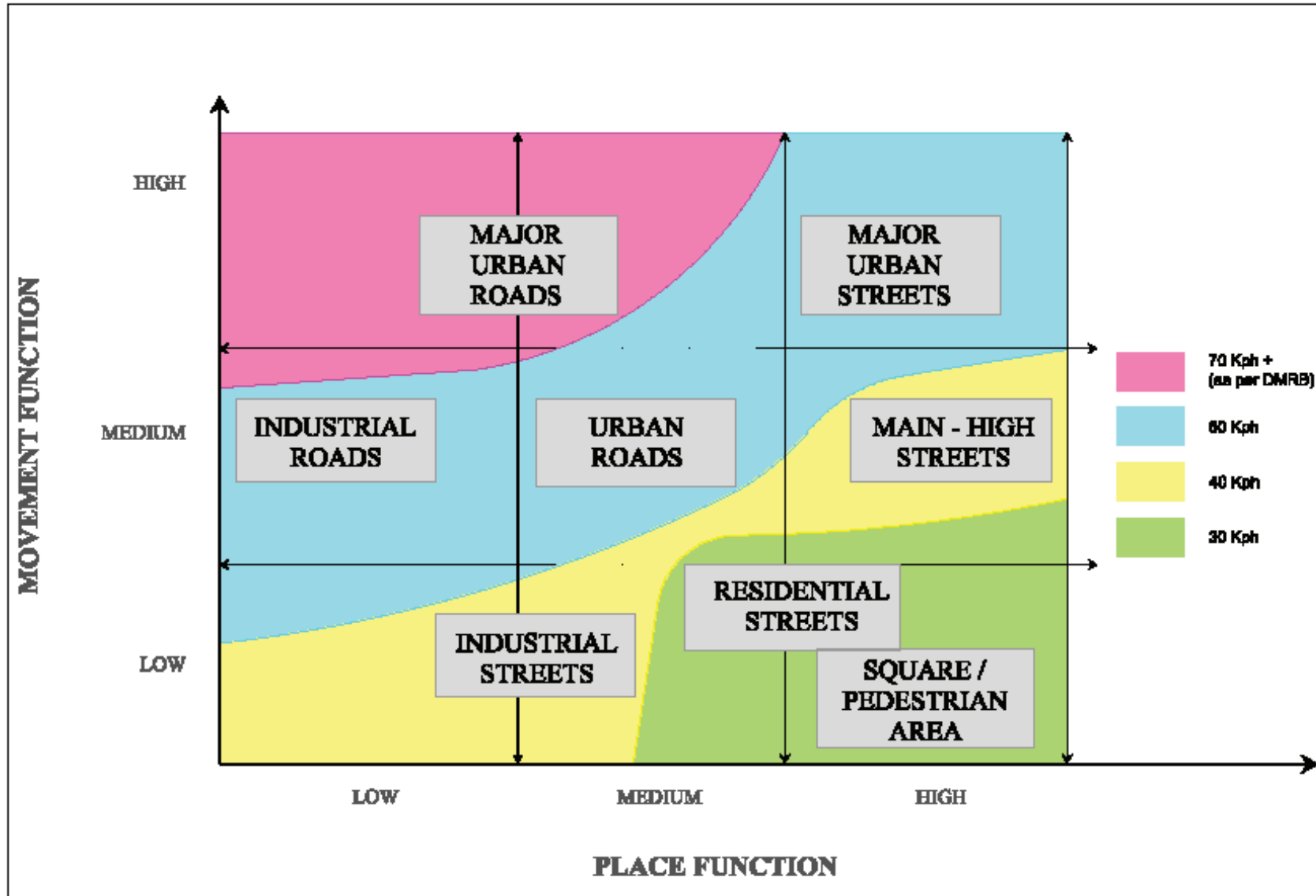


Figure 2 – Roads Descriptor Matrix



5. TRANSPORT ASSESSMENTS

The majority of new development will have an impact on the transport network and these impacts must be identified and dealt with as early as possible in the planning process. Transport Assessments (TA) can help to identify and tackle these issues at the planning application stage.

The Infrastructure and Developer Contributions Manual Supplementary Guidance document identifies transport infrastructure required to support sites identified in the Local Development Plan. In addition, developers will be required to undertake a Transport Assessment to determine whether any further infrastructure or service improvements are required in order to support the development proposed.

The Scottish Government has published guidance on Transport Assessments (Transport Assessment and Implementation: A Guide, 2005) and developers should refer to this for more detailed information.

Transport Assessments will vary in size and complexity depending on the nature, size and possible effects of the development.

A Transport Assessment will be required for developments which exceed the following thresholds,:

- Food retail >1,000m² Gross Floor Area
- Non-food retail >1,000m² Gross Floor Area
- Cinemas and conference facilities >1,000m² Gross Floor Area
- Leisure facilities >1,000m² Gross Floor Area
- Business >2,500m² Gross Floor Area
- Industry >5,000m² Gross Floor Area
- Distribution and warehousing >10,000m² Gross Floor Area
- Hospitals >2,500m² Gross Floor Area
- Higher and further education >2,500m² Gross Floor Area
- Stadia >1,500 seats
- Housing >100 dwellings.

A Transport Assessment should provide a comprehensive and consistent review of all the potential transport impacts relating to a proposed development or redevelopment and its immediate vicinity. The TA should consider travel-related issues such as safety, trip generation, access junction design and new infrastructure required (such as new bus services or cycle lanes) before, during and following construction. Adverse traffic and accessibility issues should be addressed and, if appropriate, suitable mitigation measures identified.

The assessment should look at the accessibility of the site by different modes of travel. The objective should be to maximise sustainable travel by walking, cycling and public transport and only then to consider the impact of the residual car traffic. Developers will be expected to take a realistic approach to their assessment of how much travel will be capable of being attracted to sustainable modes and they should bear in mind the Council's traffic targets as set out in the Local Transport Strategy (2008) and detailed in the Local Transport Strategy Monitoring Paper (2009).

There are two ways to ensure that sustainable travel will be maximised. First, through careful attention to the design and layout of the development itself and giving priority to those on foot, cycling or using public transport ahead of car user requirements; secondly through measures to improve infrastructure and services to encourage sustainable travel within the catchment area of the development.

As a minimum, the Transport Assessment should include:

1. Details of the development:
 - The proposed land use;
 - Scale of the development, such as number of residential units or Gross Floor Area (GFA) and phasing of development;
 - Plans and drawings showing the proposed site layout, particularly the proposed pedestrian, cycle and vehicular access points into the site;
 - Servicing arrangements and emergency vehicle access; and
 - Parking provision (including disabled, cycle and motorcycle parking).
2. Existing transport conditions:
 - Walking and cycling routes and facilities;
 - Existing public transport services and infrastructure;
 - Operation of the local road network;
 - Recent traffic surveys; and
 - Accident history on the local road network.
3. Trip generation and distribution:
 - Calculation of the likely number of trips to and from the development by each transport mode throughout the day; and
 - Determination of which routes will be used to access the site.
4. Public transport, walking and cycling assessments:
 - Assessment of whether the current public transport services and walking and cycling infrastructure have sufficient capacity to accommodate the additional trips created by the development;
 - An assessment of the level of accessibility to services and facilities by public transport, walking and cycling, where possible using the Accession software tool; and
 - If levels of accessibility are not sufficient, details of new facilities/services to be provided as part of the development proposals, such as public transport improvements and improved footpath and cycle path linkages.
5. Proposals (in the form of a Travel Plan) to reduce the number of trips to the development:
 - Measures to reduce the need to travel (e.g. home working);
 - Measures to encourage the use of more sustainable travel options rather than single occupier car journeys (e.g. walking, cycling, public transport, car sharing); and
 - A proposed parking strategy.
6. Traffic Impact Assessments:
 - Assessment of whether the road network has sufficient capacity to accommodate the residual vehicular trips created by the development

- The transport impacts of site construction, including the requirements of abnormal loads in the construction, use and decommissioning of the present development;
- The transport impacts of freight or service operations;
- If the site of the proposed development has a current use or an extant planning permission with trip patterns/volumes, the net level of change that might arise out of the new proposals should be set out; and
- An identification of the mitigation measures that will be required to address those traffic impacts that are likely to cause concern.

6. TRAVEL PLANS

A Travel Plan is a generic title for a package of measures aimed at promoting more sustainable travel choices to and from a development, with an emphasis on reducing reliance on the private car, thereby lessening the impact on the surrounding road network. A Travel Plan may also be required to address a particular traffic or parking problem likely to come about as a result of development and to reduce harmful emissions from vehicles.

Travel Plans can also reduce the cost of business travel, promote healthy living among employees and residents and widen the potential labour pool to include those that do not have access to a car. Travel Plans can be financially beneficial for employers to implement, by reducing the number of car parking spaces required.

A Travel Plan will be required for developments which exceeds the following thresholds:

- Food retail >1,000m² Gross Floor Area
- Non-food retail >1,000m² Gross Floor Area
- Cinemas and conference facilities >1,000m² Gross Floor Area
- Leisure facilities >1,000m² Gross Floor Area
- Business >2,500m² Gross Floor Area
- Industry >5,000m² Gross Floor Area
- Distribution and warehousing >10,000m² Gross Floor Area
- Hospitals >2,500m² Gross Floor Area
- Higher and further education >2,500m² Gross Floor Area
- Stadia >1,500 seats
- Housing >100 dwellings.
- All schools.

Developments which fall below these thresholds are also encouraged to prepare Travel Plans in support of applications for development.

Travel Plans should be site-specific and measures and objectives should reflect the individual characteristics of a site as well as the trips likely to be generated by that development. They should contain a range of measures to ensure that the site is accessible by a variety of modes of transport, and that private car use to and from the site is discouraged via a combination of incentives and disincentives. Workplace Travel Plans can address commuter journeys to work, customer access, business travel and fleet management and they can encompass the movement of freight as well as people.

There may be opportunities to create informal or formal networks of organisations and businesses within defined areas known as Transport Management Organisations (TMOs). TMOs provide a forum for identifying and implementing measures that will improve travel conditions for companies, their employees, and the local community. Aberdeen City Council will work with Nestrans and the private sector to support and encourage the development of further TMOs across Aberdeen.

What should the Travel Plan contain?

A number of conditions have been identified that must be in place in order for a Travel Plan to be successful:

- The appointment of a dedicated Travel Plan Co-ordinator to oversee implementation of the Plan;
 - Engagement with staff and residents to identify what would encourage them to change their travel behaviour;
 - The Plan should be based on the findings of a recent staff or residents travel survey and regular follow-up surveys should be undertaken to assess the Plan's progress and ensure it remains current;
 - The plan should include a comprehensive package of measures, including incentives and disincentives to bring about change;
 - The plan should be site-specific, tailored to suit the individual development;
 - The plan should set clear objectives and targets, with monitoring procedures identified;
 - A funding stream for new infrastructure, initiatives, promotion and marketing;
- and
- Senior management support and approval for the Plan.

Typical workplace travel plan measures include:

- Ensuring there are safe walking and cycling routes to the development;
- Providing safe cycle parking facilities near the entrance to the workplace;
- Providing showers and changing facilities for cyclists and pedestrians;
- Providing a dedicated bus for employees or entering into negotiations with bus companies to extend an existing bus service to serve the development ;
- Providing tele- and video-conferencing facilities to reduce the need for business travel;
- Providing a pool car or car club vehicle for employees who need the use of a car during the working day;
- Negotiating discounted public transport fares for employees;
- Car Park management such as deliberately limiting staff parking or charging staff for car parking;
- Establishing a car share scheme for employees and implementing priority parking spaces for car sharers;
- Introducing flexible working arrangements, such as home working and flexitime working;
- Introducing the HMRC's Salary Sacrifice Schemes for buses, bicycles and home computers;
- Raising awareness of the health, environmental and cost benefits of walking, cycling and using public transport;
- Raising awareness of public transport serving the site and making public transport maps, timetables and leaflets available to staff and visitors.

Residential Travel Plans should outline measures aimed at influencing the travel behaviour of new home owners to, from and within the development. These could include:

- Ensuring the development is well served by safe and pleasant walking and cycling routes;

- Entering into negotiations with bus operators to ensure that the development can be served by public transport if it is not at present;
- Distributing a welcome pack to new residents with maps showing local walking and cycling routes and local public transport maps, leaflets and timetables ;
- Providing a car club vehicle(s) for residents to use;
- Establishing a residents' car share scheme;
- Providing residents with 1 months' free public transport tickets or a voucher for discounted walking or cycling goods.

Leisure Travel Plans may also be required for developments likely to generate a large volume of visitor journeys. Measures could include innovative marketing campaigns and initiatives for encouraging sustainable travel, such as limiting, or charging for, car parking, and ensuring the development is well served by walking, cycling and public transport links.

A free online Travel Plan Builder is available (www.aberdeencitytravelplans.co.uk) and officers in the Transportation Team are available to assist businesses and developers in the preparation of a Travel Plan.

Monitoring and Evaluation

Travel Plans should identify effective monitoring techniques and these will be agreed with the Council. The Council will request updates from developers every two years on the implementation of the Travel Plan. Legal Agreements may be required or planning conditions may be placed on planning applications to bind the targets set out in the Travel Plan and set the arrangements for monitoring, enforcement and review. More detailed guidance on what is expected as part of a Travel Plan will be available in Travel Plans: A Guide for Developers which is being prepared and will be published in 2012.

7. PARKING

Parking policy is an essential component of the City Council's Local Transport Strategy. Parking price and availability can have a significant influence on the way that people choose to travel.

Adequate parking can enhance the attractiveness of an area for development and sufficient spaces are needed to prevent over-spill parking into surrounding areas especially if this will have a detrimental impact. On the other hand, the over-provision of parking spaces can involve large tracts of land and lead to increased land prices, reduce building densities and increase distances people must walk between adjacent land uses. Over-provision of parking can also reduce travel by alternative forms of transport.

Parking standards must therefore reflect a balance of conflicting objectives. The standards in this document have been informed by the evidence of existing parking demands and take account of the potential requirement for parking spaces in the future given other policy measures to encourage the use of alternatives to cars. They also take account of the Scottish Government's Scottish Planning Policy guidelines on parking standards.

The level of parking standards also relates to the location of the development. To encourage the use of alternatives to the car where accessibility is high by non-car modes, the maximum parking standards are lower. Three separate zones have been identified by the Council for the application of varying parking standards and these are described below and are shown in the map on Figure 3, page 18:

- **Zone 1** is highly accessible by public transport and the density of population relative to the mixture of land uses (retailing, employment etc) allows for a large proportion of pedestrian and cycle journeys. On-street parking, public off-street parking and park and ride opportunities are also available. These factors allow for the lowest maximum levels of parking associated with new developments.
- **Zone 2** is relatively accessible by public transport and pay and display parking is available in most parts of the area for short stay use.
- **Zone 3** provides the third and least restrictive maximum standards as the area is less accessible by public transport and the distance from main residential areas may preclude walking and cycling on a significant scale.

Whilst the Local Transport Strategy seeks to reduce the amount of unnecessary car use and dependency, it maintains the right of individuals to own and keep cars at a residence. In view of this, the parking standards for housing developments should be considered as guidelines. Where development proposals include the provision of off-street parking, the entitlement to on-street parking permits will be restricted. Within all zones where development proposals include parking provision that is less than the guidelines for that Zone, developers will be expected to provide suitable alternatives such as bus permits and membership to car clubs.

Different land use components in a mixed development should aim to share car parking provision when the demand for the different land uses is at different times of the day or week. For example, parking provision at a school in the daytime could be

used for community and leisure facilities at evenings and weekends. Equally, office car parking spaces could be used by neighbouring residents and visitors during evenings and weekends when the business premises are unoccupied.

LOW AND NO CAR HOUSING

Aberdeen City Council will support and encourage low or no car housing, recognising the contribution this can have towards sustainable development, where there is evidence that car ownership and use will be low enough to justify proposals, and where public transport and other travel options are sufficient to allow residents to rely wholly on them.

It is vital that such development is located in an area of good existing public transport, cycle and pedestrian links, thus allowing a design that facilitates as many trips as possible to and from the development being made by modes other than the private car.

Such development is likely to be more successful in city centre locations, where there is already a high demand for car parking and good public transport links.

The Council will consider the following issues in determining proposals for low or no car housing:

- The development is mixed use and there are employment opportunities within walking and cycling distance of residential units;
- The development is linked to the main road network by well lit, safe and pleasant footways or paths for pedestrians;
- The development is within 400m of the local cycle network and there is adequate bicycle parking available; and
- There are at least 2 buses in each peak time quarter hour period serving, or stopping close by to, the development.

Where development proposals are specifically put forward as low or no car housing, the entitlement to on-street parking permits will be restricted.

The developer may also wish to establish a car club for the development, thus reducing the need for residents to own a private car in the first place. There will always be a requirement for a minimum amount of disabled parking within the site.

CAR CLUBS

An alternative way for a developer to demonstrate a commitment to minimising car use is to enter into an agreement relating to a car club. Aberdeen City Council support, and will promote, the implementation and expansion of car clubs in Aberdeen City, especially in developments where there is significant potential to reduce the number of car trips.

A car club is a scheme whereby a vehicle or vehicles are shared by a particular community, with members typically paying an annual membership fee which then provides them with access to a car on a 'pay as you go' basis (with the individual usually paying for use per mile or per hour). Such a system allows members of the

club to enjoy all the advantages and conveniences of car travel without them having to own a car themselves.

Car club vehicles can act as pool vehicles for workplaces and can remove the need for householders in a residential development to own a car. Research shows that each car club vehicle typically replaces 6 private cars as club members refrain from buying or maintaining a second car or even choose not to own a car at all.

Car clubs provide a means to reduce the number of parking spaces required for new developments and can be used to retrofit existing developments, allowing them to adopt more of a 'Home Zone' style approach. By reducing or eliminating the need for onsite parking many new developments are made possible and their traffic impact minimised.

Developers may choose to set up a car club solely for their development or to pay for membership of an existing car club for all residents and/or employees of the development. For a residential development to have a self-contained car club, guidance suggests that there should be at least 200 units. Developments which are smaller, or which have a mix of uses, can still include car clubs, although these may need to be open to other subscribers in the immediate local area. Shared residential and business membership could be one approach, as use of the vehicles for business journeys is likely to be more in demand during working hours on weekdays and domestic usage is likely to be more pronounced in evenings and weekends.

In entering into a legal agreement to set up and/or promote a car club, the developer should ensure that the club is up and running from the very beginning of the occupation of the development. It should be offered to prospective members on favourable terms. A common requirement is free initial membership for three years. The developer should expect to contribute to the costs of setting up and promoting the club, as well as any traffic orders and works that might be necessary. The developer should guarantee the car club for a period of 10 years.

PARKING STANDARDS

This section addresses the following:

- Non-residential parking (**maximum standards**)
- Residential parking (**guidelines**)
- Disabled Badge Holders' Parking (**requirements**)
- Delivery space (**guidelines**)

Car Parking Standards - Introduction

Figure 3 below shows the areas covered by each of the 3 parking standard zones. Please note the boundaries shown are indicative and subject to change through any updates to the Local Transport Strategy.

Figure 3 – Zones for Parking Standards



For a change of use, developers should, in the first instance, take account of the standards shown in the following tables. This may mean increasing the number of spaces or possibly taking some away. Times of use of the existing and proposed land use(s) may be relevant to the need to provide extra parking. For instance a proposal for residential development in what is currently an office use may, on first consideration, require extra spaces. However, as residential parking demand tends to be mainly in an evening, it may be that the extra spaces could be accommodated elsewhere without road safety, amenity or other issues being raised.

If a site is redeveloped in its entirety with existing buildings demolished and the site cleared then developers should be guided by the standards in the following tables.

Many development proposals contain a variety of types of land uses. When assessing these applications the developer will be required to take account of the shared use of the site particularly if the different land uses are in use at different times of the day.

Where parking standards in the following tables relate to Gross Floor Area (GFA) this should be measured to the outside of the external walls of the development and will include all public and privately accessible areas.

Where it is proposed to extend an existing building (or other land use) parking provision should be based on the Gross Floor Area of the existing plus proposed building area.

Parking bays should generally be 2.5 x 5.0 metres with a 6.0 metre aisle width between bays. For nurseries or similar type of development where small children are to be dropped off, an extra 0.9 metres should be provided between spaces.

Where it is necessary to accommodate car parking within a private court, the parking must not dominate the space: no more than 50% of any court should be taken up by parking spaces and access roads. This figure is a guideline and the planning authority reserves the right to consider each case on its particular merits. In high density schemes it will be expected that underground or decked parking will be provided in order to achieve this.

In order to contribute to the Scottish Government's carbon reduction targets the Council will also encourage the provision of electric vehicle infrastructure as part of developments with associated off-street car parking.

Non-residential car parking spaces – all maximum amounts

1: RETAIL			
Land Use	City Centre	Inner City	Outer City
Food retail outlets (>1000m2 GFA)	1 per 40m2	1 per 22m2	1 per 14m2
Non-food retail outlets (>1000m2 GFA)	1 per 50m2	1 per 30m2	1 per 20m2
Food/non-food retail outlets (<1000m2 GFA)	1 per 70m2	1 per 40m2	1 per 30m2
Motor trade (including vehicle display area, spares dept, servicing, tyre and exhaust centre)	0.5/1 staff; 1 per 50m2 vehicle display area; 1 per 50m2 spares department; 3/servicing bay, 2/tyre and exhaust bay	0.5/1 staff; 1 per 33m2 vehicle display area; 1 per 25m2 spares departments; 3/servicing bay, 2/tyre and exhaust bay	0.5/1 staff; 1 per 33m2 vehicle display area; 1 per 25m2 spares departments ; 3/servicing bay, 2/tyre and exhaust bay
Petrol Filling Stations (note retail element assessed separately)	1 per 2 staff	1 per 2 staff	1 per 2 staff

2. FINANCE, PROFESSIONAL AND OTHER SERVICES			
Land use	City Centre	Inner City	Outer City
Banks, Building Societies, etc.	1 per 90m2	1 per 62m2	1 per 40m2

3. FOOD AND DRINK			
Land use	City Centre	Inner City	Outer City
Restaurants and cafes	1 per 40m2	1 per 17m2	1 per 12.5m2
Pubs/clubs/discos/bars	1 per 40m2	1 per 25m2	1 per 12.5m2
Take-away	1 per 33m2	1 per 33m2	1 per 33m2
Drive Through Restaurants – requires adequate queuing space	1 per 10m2	1 per 10m2	1 per 10m2

4. BUSINESS			
Land use	City Centre	Inner City	Outer City
Offices	1 per 80m2	1 per 50m2	1 per 30m2

5. GENERAL INDUSTRIAL			
Land use	City Centre	Inner City	Outer City
Industrial premises (excluding motor vehicle workshops)	1 per 100m2	1 per 55m2	1 per 40m2

6. STORAGE AND DISTRIBUTION			
Land use	City Centre	Inner City	Outer City
Warehousing – storage and distribution	1 per 300m2	1 per 167m2	1 per 100m2
Warehousing – wholesale trading	1 per 100m2	1 per 72m2	1 per 50m2

7. HOTELS, HOSTELS			
Land use	City Centre	Inner City	Outer City
Hotels, boarding houses, guest houses, and motels (restaurant and conference facilities counted separately)	0.6 per bedroom	0.75 per bedroom	1 per bedroom

8. NON-RESIDENTIAL INSTITUTIONS			
Land use	City Centre	Inner City	Outer City
Nursery and Primary Schools	0.8 per staff	0.8 per staff	0.8 per staff
Higher and Further Education	0.5 per staff plus 1 per 15 students	0.5 per staff plus 1 per 15 students	0.5 per staff plus 1 per 15 students
Public Library	1 per 90m ²	1 per 57m ²	1 per 36m ²
Public hall/Function room	1 per 50m ²	1 per 27m ²	1 per 18m ²
Religious Institution	0.5 spaces per 10 seats	1 space per 10 seats	1 space per 10 seats
Medical Centres/Vets/Dentists	3 per consulting room plus 0.5 per staff	3 per consulting room plus 0.5 per staff	3 per consulting room plus 0.5 per staff
Hospitals	Merit (but will require Travel Plan)	Merit (but will require Travel Plan)	Merit (but will require Travel Plan)

9. ASSEMBLY AND LEISURE			
Land use	City Centre	Inner City	Outer City
Conference Centre	1 per 10 seats	1 per 7.5 seats	1 per 5 seats
Cinema/Concert hall/Theatre/Bingo hall	1 per 12 seats	1 per 8 seats	1 per 5 seats
Stadium	1 per 20 seats	1 per 20 seats	1 per 15 seats
Sports centre/facility	1 per 30m ²	1 per 22m ²	1 per 22m ²

Residential Car Parking Standards

These should be treated as **guidelines**, rather than maximums. The level of parking proposed in a new development will need to be agreed with the Planning Authority.

Residential Car Parking Standards – all guidelines

DWELLINGS			
Land use	City Centre	Inner City	Outer City
Residential Dwellings	1.5 allocated space per dwelling	1.75 allocated space per dwelling	2 allocated spaces per dwelling (up to 3

	(up to 3 bedrooms), 2 per dwelling (4 or more bedrooms)	(up to 3 bedrooms), 2 per dwelling (4 bedrooms)	bedrooms), 3 per dwelling (4 bedrooms).
1 bedroom flat (no designated spaces)	1 per unit	1 per unit	1.5 per unit
2 bedroom flat (no designated spaces)	1.5 per unit	1.75 per unit	2 per unit
3 bedroom flat (no designated spaces)	1.5 per unit	1.75 per unit	2 per unit
Housing Association/Social Housing (rented only)	0.8 per unit	0.8 per unit	0.8 per unit
Special Needs Housing	1 per resident staff member plus 1 per 8 residents	1 per resident staff member plus 1 per 8 residents	1 per resident staff member plus 1 per 8 residents
Sheltered Housing/Care Home/Nursing Home	1 per resident staff member plus 1 per 8 residents	1 per resident staff member plus 1 per 3 residents	1 per resident staff member plus 1 per 3 residents
Purpose Built Student Accommodation	1 per resident staff member plus 1 per 10 students	1 per resident staff member plus 1 per 10 students	1 per resident staff member plus 1 per 10 students

Disabled Badge Holders' Parking – all requirements

Reserved disabled parking should be provided as per the following table. Please note that these are minimum standards.

Disabled Badge Holders Parking

	Car park size up to 200 spaces	Car park maximum standard size over 200 spaces
Employment Uses	1 space per disabled employee plus 2 spaces or 5% of the total number of spaces in the car park or whichever is greater	6 spaces plus 2% of the total number of spaces in the car park
Retail, Leisure and Recreation Uses	3 spaces or 6% of the total number of spaces in the car park or whichever is greater	4 spaces plus 4% of the total number of spaces in the car park

Spaces for drivers with a disability should generally be 2.5 x 5.0 metres with a 0.9 metre strip between adjacent spaces to allow access for wheelchairs. These spaces should, where possible, be located within 50 metres of the entrance to buildings to assist accessibility.

Delivery/loading/unloading Parking Standards – all guidelines

These standards apply to spaces required for vehicles regularly and necessarily involved in the servicing of businesses or other buildings. It includes space for

commercial vehicles delivering goods or collecting goods from premises and space for loading and unloading.

Details of operational parking requirements should be considered as guidelines. Where no operational requirement is specified requirements will be considered on a case by case basis. However, it is important where possible that loading and other servicing facilities are provided on site to prevent delivery vehicles queuing or using on-street locations to load and unload.

Delivery/loading and unloading parking standards

1. RETAIL	
Land Use	
Food retail outlets (>1000m2 GFA)	Assessed on merit
Non-food retail outlets (>1000m2 GFA)	Assessed on merit
Food/non-food retail outlets (<1000m2 GFA)	Assessed on merit
Motor trade (including vehicle display area, spares dept, servicing, tyre and exhaust centre)	Assessed on merit
2. FINANCE, PROFESSIONAL AND OTHER SERVICES	
Land Use	
Banks, Building Societies etc.	Assessed on merit
3. FOOD AND DRINK	
Land Use	
Restaurants and cafes	Assessed on merit
Pubs/clubs/discos/bars	Assessed on merit
Take-away	Assessed on merit
Drive Through Restaurants	Assessed on merit
4. BUSINESS	
Land Use	
Offices	Assessed on merit
5. GENERAL INDUSTRIAL	
Land Use	
Industrial premises (excluding motor vehicle workshops)	1 loading bay up to 500m2 GFA, 2 loading bays between 500m2 and 2500m2 GFA and 3 loading bays over 2500m2
6. STORAGE AND DISTRIBUTION	
Land Use	
Warehousing (storage and distribution and wholesale trading)	1 loading bay up to 500m2 GFA, 2 loading bays between 500m2 and 2500m2 GFA and 3 loading bays over 2500m2
7. HOTELS, HOSTELS	
Land Use	
Hotels, boarding houses, guest houses, and motels (restaurant and conference facilities counted separately)	1 loading bay, and coach spaces will be required for hotels with more than 50 bedrooms
8. NON RESIDENTIAL INSTITUTIONS	
Land use	
Nursery and Primary Schools	Pick-up/set down facilities for school buses and cars
Higher and Further Education	Pick-up/set down facilities for school buses and cars
Public Library	Space for mobile library van as appropriate

Public hall/Function room	Provision for a coach
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9. ASSEMBLY AND LEISURE	
Land Use	
Conference Centre	1 coach space per 50 seats
Cinema/Concert hall/Theatre/Bingo hall	A space for coaches/cars to pick up and set down as appropriate
Stadium	Provision for coaches-to be assessed with Travel Plan and accessibility
Sports centre/facility	Provision for coaches-to be assessed with Travel Plan and accessibility

Motorcycle Parking Standards

Motorcycle parking should be considered early in the design process. Facilities should be conveniently located, adequately lit, well signed, secure and vandal proof. It is also important that facilities are not placed in dark recesses or at the rear of car parks where they are less likely to be used. They should be located as close as possible to building entrances, ideally overlooked from a building or in the clear view of pedestrians.

Wall loops or fixing devices anchored in or adjacent to the road can provide secure anchor points for motorcycles. These need to be robust in order to prevent them from being lifted out of the ground or cut with cutting tools. The anchor point should be compatible with a wide range of bike types and locking devices. A height of 600mm will accommodate a range of wheel sizes and helps prevent thieves from using the ground as leverage for bolt cutters and jacks. The anchor points should be located and designed in positions that do not pose a hazard to partially sighted or disabled people. Motorcycle bays may also be acceptable.

Motorcycle Parking Standards – all minimums

Land use	Motorcycle parking provisions
1. RETAIL	
Food Retail Outlets (>500m ² GFA)	1 per 1500m ² with a minimum of 1 space for staff and 1 space for customers
Non-Food Retail Outlets (>500m ² GFA)	1 per 1500m ² with a minimum of 1 space for staff and 1 space for customers
Food/Non-Food Retail Outlets (<500m ² GFA)	1 space for staff and 1 space for customers
2. FINANCIAL, PROFESSIONAL AND OTHER SERVICES	
Banks, Building Societies, etc.	1 per 1200m ² with a minimum of 1 space for staff and 1 space for customers
3. FOOD AND DRINK	
Restaurants and cafes	1 per 300m ² public area with a minimum of 1 space for staff and 1 space for customers
Pubs and Winebars	
Fast food Takeaway	
4. BUSINESSES	
Offices	1 per 1000m ² for employees and 1 per 4000m ² for visitors
5. GENERAL INDUSTRIAL	
Industrial premises	1 per 2000m ² for employees and 1 per 8000m ² for visitors
6. STORAGE AND DISTRIBUTION	
Warehousing	1 per 6000m ² for employees and 1 per 16000m ² for visitors

7. HOTELS, HOSTELS	
Hotels, boarding houses, guest houses, and motels	1 per 15 bedrooms with a minimum of 1 space for customers and 1 space for staff
8. NON RESIDENTIAL INSTITUTIONS	
Primary School	1 per 8 staff with a minimum of 1
Secondary School	1 per 8 staff with a minimum of 1
College/University	1 per 8 staff with a minimum of 2
Medial Centre	1 per 25 parking spaces with a minimum of 1 space for staff and 1 space for customers.
9. ASSEMBLY AND LEISURE	
Public Library	1 per 25 parking spaces with a minimum of 1 space for staff and 1 space for customers.
Cinema/Concert Hall/Theatre/Bingo Hall	
Conference Centre	
Public Hall	
Stadium	
Sports Centre/facility	
10. RESIDENTIAL INSTITUTIONS	
Special Needs Housing	1 visitor space per 25 units with a minimum of 1 space and 1 space per 25 staff with a minimum of 1
Sheltered Housing/Care Home/Nursing Home	1 visitor space per 25 units with a minimum of 1 space and 1 space per 25 staff with a minimum of 1
Hospitals	Assessed individually - a Travel Plan will be required.
Purpose Built Student Accommodation	1 per 25 beds and 1 per 25 staff with a minimum of 1 space for staff and 1 space for students
Flats (<6)	1 space per 8 flats with a minimum of 1
Flats (7-10)	
Flats (11-15)	
Flats (15-25)	
Flats (26-30)	
Flats (31+)	

Cycle Parking Standards

It is important that developers provide secure cycle parking at each new development, whether that be at a place of work or residence, so that individuals can make a choice of whether they wish to cycle to work with the knowledge that their bike will be secure at both ends of the journey.

This Guidance will be applied to:

- New developments and extensions to existing developments;
- Conversion of existing buildings involving a change of use; and
- Material changes of use

The location and provision of cycle parking facilities differs between short and long stay. Drawings submitted for a planning application should clearly indicate the number of spaces available for bicycles, and

For short stay:

- Precise location
- Design (usually Sheffield stand) as defined in 'Key Elements of Cycle Parking Provision'

For long stay:

- Internal building location or

- External location and design

Short Stay Parking

Short stay cycle parking is for visitors and/ or customers. This type of facility should be located in a safe, convenient, accessible and prominent position, preferably on-site and adjacent to the entrance of a building, and an absolute maximum of 50m from the entrance. Buildings with more than one entrance should either have cycle parking readily accessible from every entrance, or a smaller number of facilities should be located at each entrance.

The facility should be well signed and either lit, or placed close to a source of light. If possible, it should be monitored by closed circuit television and be visible to on-site security staff. As weather protection for cycle parking is highly desirable developers will need to consider this at an early stage in the design of new developments. The facility should be located so as not to cause an obstruction to pedestrians or partially sighted people. For short stay parking, Sheffield stands are recommended for most types of development. Wall loops may be acceptable in certain circumstances, for instance in areas where pavement widths are restricted. It should be noted however that stands that support the bicycle by one wheel only are NOT satisfactory.

Long Stay Parking

Long stay parking should be provided where cycle parking is required in excess of six hours, this includes residential, office and hotel developments. More secure facilities in the form of cycle cages or lockable compounds should be provided. These must be covered. Alternatively, secure compounds within buildings may be acceptable, provided they are located at ground level and are accessible. The compound must be under continuous supervision or have a shared key arrangement where each cyclist has a key to the outer door. Sheffield stands should also be provided within the bike store for increased security. On larger sites, small clusters of cycle parking facilities are preferable to large, central parking compounds.

Individual lockable facilities are a preference at residential developments, however there is a realisation that these will take up a greater footprint compared to a cycle compound. Aberdeen City Council will therefore look for flatted developments of six flats and under to contain individual lockable facilities at a ratio of one space per flat, which will take up approximately the same footprint as one car parking space. Where higher density developments take place with limited, or no car parking, the expectation is that the ratio of flats to cycle parking is also one to one.

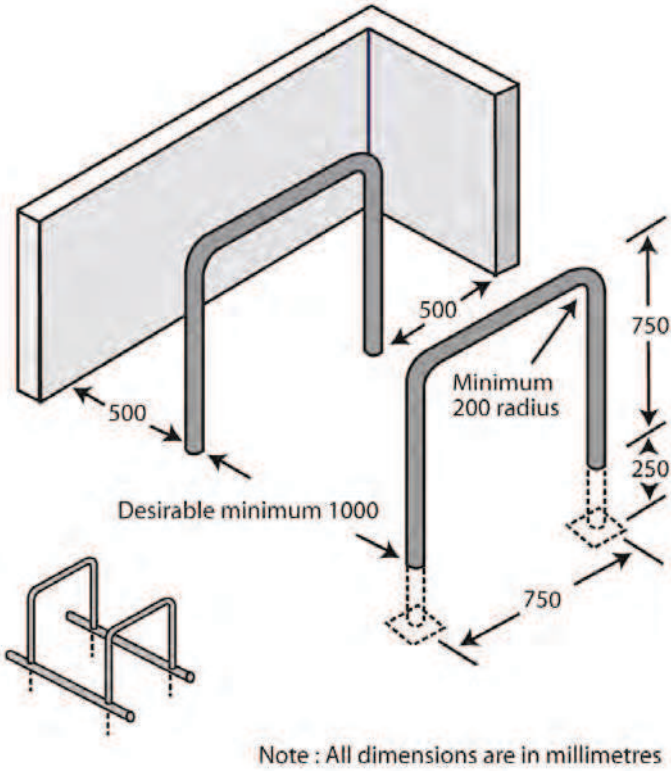
Sheffield Stand Specifications

The material and finish of stands can vary greatly, and only the higher specification of stainless steel and galvanised, powder or nylon coated should be used.

Stands should be 750mm high and a minimum of 750mm long. The frame of the stand should have a minimum outer diameter of 42mm. A desirable minimum

distance of 1000mm should be provided between stands to accommodate two cycles per stand. Stand ends should either be embedded in concrete, bolted into the ground or welded to parallel bars at ground level to form a 'toast' rack system. Adequate space should be provided at either end of the stand to enable cycles to be easily removed. The diagram below indicates the necessary dimensions for Sheffield stands and the amount of space required around each stand.

Figure 4 – Sheffield Stand Dimensions



Cycle Parking Standards

Please note that without exception, a minimum of two short stay stands, or four cycle parking spaces, should be provided with all types of use. Within the centre of town, if the entrance of a development is located within 50m of city centre cycle parking stands these can be included as part of the short stay cycle spaces required in the development quota.

Land use	Cycle parking provision
1. RETAIL	
Food Retail Outlets (>500m2 GFA)	1 per 250m2
Non-Food Retail Outlets (>500m2 GFA)	1 per 300m2
Food/Non-Food Retail Outlets (<500m2 gfa)	1 per 300m2
2. FINANCIAL, PROFESSIONAL AND OTHER SERVICES	
Banks, Building Societies, etc.	1 per 250m2
3. FOOD AND DRINK	
Restaurants and cafes	1 per 10 staff; 1 per 20 seats
Pubs and Winebars	1 per 100m2
Fast food Takeaway	1 per 50m2

4. BUSINESSES	
Offices	1 per 300m2
5. GENERAL INDUSTRIAL	
Industrial premises	1 per 500m2
6. STORAGE AND DISTRIBUTION	
Warehousing	1 per 1000m2
7. HOTELS, HOSTELS	
Hotels, boarding houses, guest houses, and motels	1 per 10 staff
8. NON RESIDENTIAL INSTITUTIONS	
Primary School	1 per 10 staff or students
Secondary School	1 per 10 staff or students
College/University	1 per 8 staff or students
Medical Centre	1 per 20 staff plus 1 per 20 staff for visitors
9. ASSEMBLY AND LEISURE	
Public Library	1 per 20 staff plus 1 per 10 staff for visitors
Cinema/Concert Hall/Theatre/Bingo Hall	1 per 10 staff plus 1 per 20 peak period visitors
Conference Centre	1 per 50 seats for staff plus 1 per 50 seats for visitors
Public Hall	1 per 10 staff plus 1 per 20 peak period visitors
Stadium	1 per 10 staff plus 1 per 20 peak period visitors
Sports Centre/facility	1 per 10 staff plus 1 per 20 peak period visitors
10. RESIDENTIAL INSTITUTIONS	
Special Needs Housing	1 per 10 staff
Sheltered Housing/Care Home/Nursing Home	1 per 10 staff
Hospitals	1 per 20 staff plus 1 per 20 staff for visitors
Purpose Built Student Accommodation	1 per 3 students
Flats (<6)	1 per flat
Flats (7-10)	1 per 1 flats
Flats (11-15)	1 per 1 flats
Flats (15-25)	1 per 1 flats
Flats (26-30)	1 per 1 flats
Flats (31+)	1 per 1 flats

Where a planning application for the intensification of an existing use or a change of use is made, there could be a need to provide additional cycle parking on the site in line with the standards. If there is no room for facilities to be provided on-site, the planning authority may ask for appropriate facilities to be provided off-site. Such provision should be within 50 metres of the development.

8. PARKING IN CONSERVATION AREAS

Introduction

Large parts of Aberdeen, mainly to the south and west of the city centre, have been designated as conservation areas in order to protect and, where possible, enhance their architectural character and environmental amenity.

The typical layout of most of these areas consists of broad streets, often tree lined, occasionally having service roads and gardens between the street and the buildings. The buildings may vary in size and style, but generally they have small front gardens and long walled gardens to the rear, frequently accessed from a rear lane running parallel to the street.

The increasing demand for off street parking brought about by ever expanding car ownership, and the introduction of traffic management schemes, generates pressure for car parking in garden areas, both to the front and rear of commercial and residential properties in conservation areas.

Statutory and Other Requirements

In conservation areas, planning permission is required to form a car park within a front or rear garden, and in some situations, conservation area consent may also be required where the proposals entail demolition work. Planning permission is also required to form a car park within the curtilage of a listed building, whilst listed building consent is required if any structure within the curtilage of a listed building is to be altered or removed. In all cases, including those where no planning or listed building consents are required, there is a requirement to apply to the City Council to form a footway crossing. Applicants should contact the Planning Authority at the earliest opportunity.

Trees in conservation areas are statutorily protected, and their removal without prior consent from the Council constitutes an offence, as does the removal of any tree that is protected by a tree preservation order. Consent is also required before any work, such as lopping or thinning, is carried out to a protected tree.

Removal of existing parking spaces

Whilst generally the pressure from property owners is to create additional car parking space, there may be an occasion when an owner will wish to convert existing parking space back to landscaping. Residents will be encouraged to restore private car parking in conservation areas to its original use as garden space, to help restore the character of an area. The condition to this is that the planning authority must be satisfied that any loss of off-street parking will not have a detrimental effect on road safety.

PARKING IN FRONT GARDENS

The conversion of front gardens for car parking will only be permitted where:

- the site is outwith the West End Office Area;
- rear garden parking is not an option;
- where there are no implications for road safety;

- where there is no impact on significant street or garden trees; and
- where on-street parking is readily available in the vicinity.

Other situations will be considered on their own merit, but with the provision that the garden will have to be large enough to take a single car whilst leaving a reasonable space between the parked car and the house, and at least 50% of the garden ground for soft landscaping. A detailed list of the criteria for assessing proposals for new driveways are set out below.

Road Safety

All applications to form a driveway must be assessed against road safety standards to ensure they do not present hazards to other road users or pedestrians.

Definitions of Road Types

A **Classified Road** is a highway which has been identified as being of importance for the movement of traffic. Classifications given are Class A, B or C, and any new access onto a classified road requires planning permission. **Primary Distributor Roads** form the primary network for the urban area and comprise trunk roads and important classified roads. All **Trunk Roads** are Class A. **District Distributor Roads** may be class A, B or C whilst **Local Distributor Roads** may be Class B or C, but are generally unclassified. Trunk Roads and Primary Routes are shown in the Finalised Aberdeen Local Plan in the Additional City Wide Proposals maps.

Access onto Classified Roads

There is a presumption against granting planning permission for a driveway onto a trunk road or primary distributor road. On district distributor roads there is also a presumption against granting consent for driveways, but this may be relaxed provided the proposal meets road safety criteria, and vehicles are able to enter and exit the parking area in forward gear. Local distributor roads are treated similarly to district distributors but without the requirement to enter and exit in forward gear.

Visibility

Driveways must be positioned to allow adequate visibility, particularly on busy pedestrian routes, in accordance with national standards.

Proximity to Road Junctions

Driveways will not normally be closer to a junction than 15 metres, although this may be relaxed if the road is lightly trafficked.

Footpath Crossings

No more than one footpath crossing per property will be permitted, except in situations where a large house may have a long frontage when an 'in' and 'out' may be acceptable.

Driveways

Driveways must be at least 5.0 metres in length, and new houses must have a driveway of at least 6.0 metres. Where, however, a driveway is more than 7.0 metres long, it must be at least 10.0 metres in length to prevent the possibility

of two cars being parked, with the second car overhanging the footpath. The gradient of the driveway must not normally exceed 1:20, although 1:15 may be acceptable in some circumstances, depending on the surface texture employed. The first two metres of the driveway adjacent to the footpath must not be surfaced with loose material such as gravel, to prevent material being carried onto the footpath or roadway. The driveway must be drained internally, with no surface water discharging onto the roadway. A driveway might not be permitted if it is accessed from a 'Pay and Display Area', or via a parking lay-by, where the lay-by is regularly occupied.

Planning Criteria in relation to Parking in Front Gardens

Planning criteria considered when assessing whether consent may be granted for parking in front gardens of listed buildings or buildings in conservation areas. Similar criteria apply to front gardens of flats.

General Criteria

1. No more than 35% of the front garden area may be given over for the combined parking area, driveway and any turning area, or 50% if footpaths and other hard surfaced areas are included. At least 50% of the garden area should be left in topsoil to permit soft landscaping.
2. Where the property originally had cast iron railings, their reinstatement will be encouraged to lessen the impact of parked cars, failing which some other form of enclosure will be required, or appropriate soft landscaping.
3. The formation of the access driveway or parking area must not result in the loss of any street trees or significant garden trees.
4. Consent will not be granted where the property has a rear garden area, suitable for parking, which is accessible from a rear lane or side street.
5. Where the garden is owned by more than one resident, owners will not be permitted a separate driveway and parking area each unless they can be achieved without fragmenting the garden or unduly reducing on-street parking. A communal driveway and parking area may be permissible provided they occupy no more than 35% of the front garden, or 50% if footpaths and other hard surfaced areas are included.
6. Where the building is in multiple ownership, the formation of an access driveway for one or more owners should not result in any of the remaining owners having no opportunity to park in the street adjacent to their property.
7. Consent will not normally be granted for parking in garden areas in front of tenement flats.

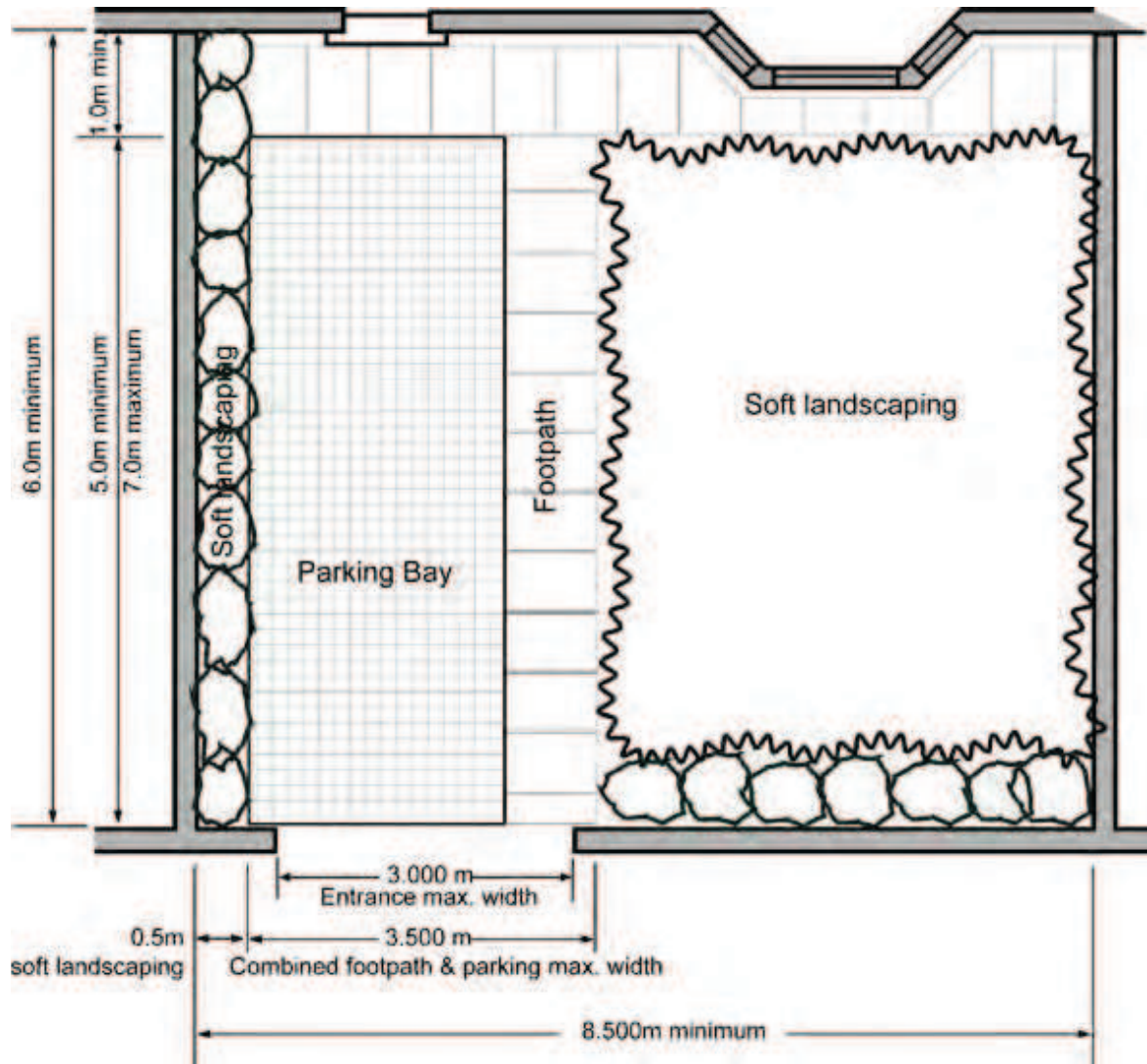
Situations where classification of road and location of driveway permits reversing out from the parking area

1. The parking area should be no closer to the front wall of the property than 1.0 metre.
2. The driveway must be no wider than 3.0 metres, or 3.5 metres if combined with the footpath.

Situations where classification of road permits garden parking provided it can be entered and exited in forward gear

1. The parking and turning areas should be no closer to the front wall of the property than 1.0 metre.
2. The design of any turning area should be such that it can be used only for turning and not as additional parking area.

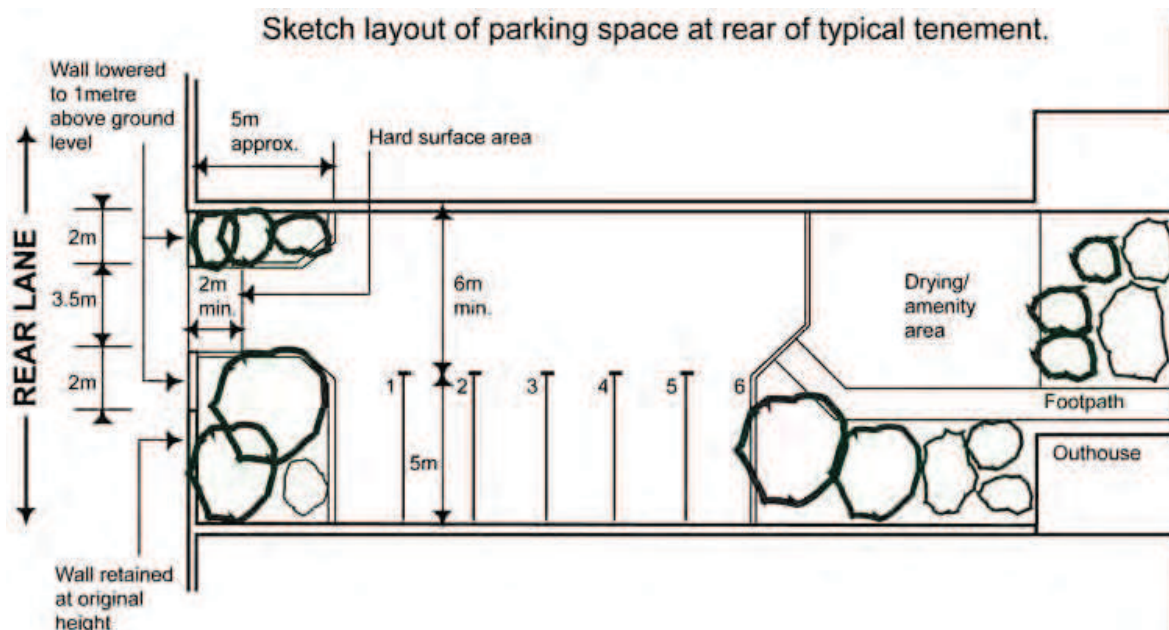
3. Suitable landscaping should be provided to screen both parking and turning areas, and generally to soften the intrusive effect of cars parked in front of the property.



Sketch layout of smallest front garden capable of accepting a single car parking space whilst retaining 50% garden ground for soft landscaping.
 Total area + 51m² approx
 Total area of landscaping = 25m² approx

PARKING IN REAR GARDENS

In certain areas of the City, where rear lanes provide access to back gardens, it may be acceptable to convert part of these back gardens to car parks. In order to preserve as much as possible of the amenity provided by these gardens, the area given over to parking will be the minimum required to provide no more than one car space for each flat, and the treatment of other areas, including boundary walls, landscaped areas and screen planting, will require careful consideration. In the case of houses, or houses which have been subdivided into a small number of flats, it may be easier to provide parking space, as most rear gardens will be able to accommodate a small number of cars, whilst still leaving a good proportion of garden ground unaffected.



General requirements for Parking areas in Gardens

1. The car park should be internally drained and should incorporate Sustainable Urban Drainage Systems to deal with surface water run off.
2. Parking spaces should be delineated on the site.

Parking Layout in Rear Gardens

Where car parks in rear areas are permissible, their layout will vary depending on the site characteristics and parking requirements. A high priority is placed on retaining significant trees, original outbuildings such as stables or coach houses, boundary features such as granite walling and even changes in level which add interest to the site.

Parking bays should be 5.0 metres by 2.5 metres, and access aisles around 6.0 metres wide. Adequate space should be allowed to permit turning entirely within the site. A generous space of around 5.0 metres should be allowed between the parking area and the rear lane to permit adequate landscaping, and for trees to develop without threatening boundary walls.



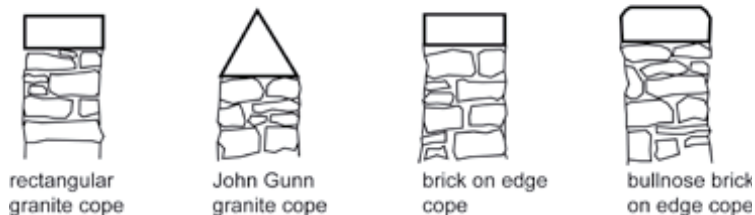
Surfacing of Parking Areas

An area of granite setts or other similar finish is required at the entrance to the car park, to provide an identifiable boundary between the lane and the car park and to retain any loose materials which may be used to surface the car park. The parking surface may be constructed in a variety of durable materials such as block pavers, tarmac or gravel. Water bound materials such as clay and sand based hoggin or granite dust are temporary measures which are not acceptable. Where the surface of the parking area is to be gravel, the length of granite setts or similar material at the entrance to the car park must be at least 2metres, to prevent gravel being dragged onto the public road or lane.

Rear Boundary Walls

Boundary walls are generally around two metres high, built of granite pinnings or granite rubble, usually left exposed but occasionally harled. They will normally have a granite or red brick-on- edge coping. Openings formed in rear boundary walls should be of a width of around 3.5 metres to allow vehicular access. A length of boundary wall on each side of the opening will likely have to be reduced in height to permit visibility in each direction for parking areas serving commercial premises or more than a single residential unit. Beyond this the wall must step back up to its original height, to provide a degree of screening of the car park. Materials matching the original should be used in any alterations to boundary walls.

COMMON TYPES OF COPE



Gates

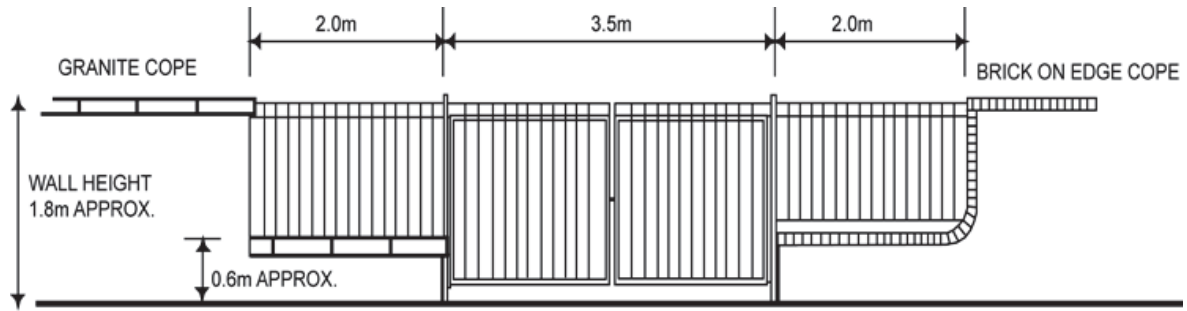
Close-boarded timber pedestrian pass gates, or vehicular gates to a single residential unit, either stained or painted and constructed to the same height as the boundary wall, are a common feature of these lanes, and provide reasonable security and privacy. Cast and wrought iron or mild steel gates can be used at entrances to commercial premises or flatted developments, and can be effectively employed in conjunction with railings on top of an adjacent lowered wall. Ornate scrollwork is however, alien to Aberdeen's special architectural character, particularly in the context of rear or service lanes, and ought to be avoided. Gates must always open into the garden rather than into the lane.

Trees and Landscaping in Rear Gardens

Where rear garden ground is to be given over for car parking there will be an inevitable loss of amenity space, or potential amenity space where the ground in question has been neglected. This type of space is of great importance for visual stimulation, wildlife, air quality, sustainable drainage, and practical and leisure uses such as clothes drying or simply gardening and sitting outdoors. The area given over for parking should therefore, be kept to an absolute minimum. In order that garden ground remains the dominant feature of the garden it is suggested that no more than 45%-50% be given over for parking and other areas of hard surfacing, although these percentages may increase slightly in flatted situations to allow one parking space per flat. Where consent is given for the formation of parking area in garden ground, it will be a condition of that consent, that the remainder of the garden will be landscaped in accordance with an approved scheme. It is a normal requirement of such conditions that the landscaping be maintained for a period of five years following the implementation of the landscaping.

The Council has a statutory duty to have regard to the preservation of existing trees and to require the planting of new trees in appropriate circumstances. In that respect it should be noted that trees within conservation areas are statutorily protected, and that it is an offence to remove a protected tree before express consent has been granted by the City Council. A tree survey is required if there are any trees over 75mm in diameter at chest height. Existing trees contribute greatly to the attractiveness and character of a locality, and must be retained and protected from any damaging construction activities. An area no less than half the tree height or canopy spread, whichever is the greater, (British Standard 5837; Trees in Relation to Construction), must be kept free of any disturbance such as changes in ground levels, excavation and compaction. Where there is insufficient space to comply with the British Standard, encroachment into the protected area will be permissible only if it can be demonstrated to the satisfaction of the planning authority, that the proposal can be carried out in a manner which will not cause damage to the trees, or detrimentally affect their setting.

The council will normally require the planting of new trees as part of proposals for the landscaping of parking areas. Such trees can be particularly effective when planted just inside the feu, near the rear lane. The species of tree chosen should be the largest type suitable for the particular site, as these will tend to produce the greatest impact and environmental benefits. Native species of trees should be used where suitable.



Alternative methods of finishing lowered walls at rear parking areas

Lock-up Garages in Rear Gardens

The formation of lock-up garages off rear lanes, serving houses or a small number of flats, can usually be achieved satisfactorily. The design and positioning of the garage should be given careful consideration, particularly with regard to the effect the garage will have on the appearance of the lane. Where, as in most situations, the garage opens onto the lane, the outer wall of the garage should be on the same line as the garden wall, and not recessed back from it, as this helps to maintain the delineation of the lane. This may affect the choice of garage door as it is not acceptable for the door to encroach onto the lane as it is opened.

The formation of ranks of garages in the rear gardens of tenements has an extremely detrimental effect on the appearance of rear garden areas, and will not normally be permitted. They occupy more garden ground than simple parking spaces. They also protrude above garden walls and cannot easily be screened by trees or other landscaping measures. It is virtually impossible to recreate any sense of enclosure in these situations, and the turning space in front of the garages tend to become desolate areas which attract vandalism. Additionally the formation of banks of garages can greatly increase the built footprint of the feu to the extent that it could push it over the 33% maximum area which is generally considered permissible to be developed.

9. DRIVEWAYS GUIDE

These guidelines have been prepared to advise householders on the consents that are required from the Council if they are proposing to build a driveway.

In seeking consent for a new driveway applicants (householders) should note that it is possible that up to three separate consents may be required including:

- Planning Permission (Town and Country Planning Scotland Act 1997 [as amended by the Planning etc Scotland Act 2006])
- Road Consent (Roads Scotland Act 1984)
- Landlord's Consent

Planning Permission

Reasons for requiring planning permission include:

- The property is a flat;
- construction work involves over 0.5 metres of earthworks [excavation or raising of ground level];
- the verge to the footway has grass over 2.5 metres wide;
- the driveway accesses on to a classified road*;
- the property is a listed building or is situated in a conservation area.

Permission will not be granted for a driveway across an amenity area or road side verge unless it would produce a demonstrable improvement in road safety and have no adverse effect on the amenity of the area.

*Local authorities are obliged to consult Transport Scotland, the trunk road authority, when they receive planning applications for any development that lies within 67 metres of the trunk road or where there may be any impact on traffic using the trunk road network.

Roads Consent

Permission will always be required from the Council for the installation of a driveway. If the driveway is the subject of a planning application then roads issues will be dealt with as part of the planning process, otherwise an application is made direct to the Roads Authority for permission to construct the access. Applications which affect the trunk road network may be referred to Transport Scotland for a recommendation.

The following conditions should be met to comply with the Roads Authority requirements and standards. These conditions apply to all driveway applications, including those that do not require an application for planning permission.

Length of the Driveway

The length of the driveway must be a minimum of 5 metres. This is considered to be the minimum length which will accommodate the average car, without overhanging the footway. Vehicles that overhang the footway cause a road safety hazard to pedestrians, especially young children and those with a disability.

Driveways in new houses must have a minimum length of 6 metres. If a driveway application is longer than 7 metres, it must then be at least 10 metres long. This requirement is to prevent two cars parking with the second car overhanging the footway.

These standards are set for the average length of car and it is noted that some smaller cars are less than this standard. However once permission is granted the Council has no control over what type of car might use the driveway and it must therefore consider not only the existing use, but also the future use of the site. Driveways, which do not meet the minimum specified length of 5 metres, will be refused.

Visibility

Driveways must be positioned to enable the required visibility, including pedestrian visibility, to be achieved in accordance with National Standards. Visibility is particularly important on popular pedestrian routes and near schools. A driveway should also meet the public road at right angles and a vehicle should be able to enter and exit the driveway at right angles to the road, so that a driver can see clearly in both directions without having to turn round excessively. Driveways which do not meet the minimum requirements for visibility will be refused.

Distance from a Junction

Driveways should be a minimum of 15 metres from a junction, although there may be circumstances where this may be relaxed on lightly trafficked roads.

Number of Footway Crossings per Property

In general only one footway crossing per property is allowed. This is to avoid a proliferation of crossings, causing a road safety hazard to pedestrians. In some situations this may be relaxed, for example at large houses with a long frontage where an “in” and an “out” may be permitted. Where properties have suitable existing facilities at the rear of the property it is unlikely that permission will be granted for further crossings at the front of the building.

Access from Parking Lay-bys

A driveway will not generally be permitted if access is taken from a parking lay-by, which is regularly in use. Similarly access from a “Pay and Display” area may also be refused.

Gradient

The gradient of a driveway should generally not exceed 1 in 20 although this may be relaxed in certain circumstances to a maximum of 1 in 15, provided suitable measures such as nonslip surfacing are employed. It is acknowledged that a parked vehicle could slide on a gradient greater than 1 in 15, and gradients greater 1 in 15 will not therefore be permitted.

Drainage

A driveway should be internally drained with no surface water discharging on to the public road. This is to prevent any flooding on the public road, with ice perhaps forming in the winter.

Construction of the Footway Crossing

A driveway must be served by a footway crossing constructed by the City Council to ensure that it is constructed to a suitable standard and that any services under the footway have suitable protection.

Loose material e.g. stone chippings must not be used to surface the first 2 metres of the driveway adjacent to the footway. Only one footway crossing will be allowed per property to avoid any impact on road safety. The normal width of a footway crossing is 3 metres but this may be increased to 6 metres for a double driveway.

The applicant is responsible for the payment of all works involved.

Landlords/Other Consents

In addition Superior's or Landlord's consent may be required for the Works. Solicitor's advice should be sought on this matter. Where the Council owns the property, the Council's consent as landlord will be required. Where the property was previously in the ownership of the Council, there may also be a requirement to seek "Superior's Consent" from the Council for the Works. This should be obtained before work commences.

Where a change of use of private or public open space is required please contact the council.

Driveway application to Enterprise, Planning and Infrastructure

An application for a driveway should be made to Enterprise, Planning and Infrastructure. Staff will give advice on what is required for a driveway and whether the driveway will require a planning application. If no planning application is required they will advise if the driveway is acceptable with regard to council standards. For further information please contact:

Planning and Sustainable Development
Enterprise, Planning & Infrastructure
Aberdeen City Council
Business Hub 4
Ground Floor North
Marischal College
Broad Street
Aberdeen, AB10 1AB
Tel: 01224 523470, Fax: 01224 636181
Email pi@aberdeencity.gov.uk

Some of the questions that will require to be answered are:

Is the property a council house?

Is the property a flat?

Is the driveway to be at right angles to the road?

Is the driveway to be a minimum of 5 metres long?

All applications must include a suitable plan clearly showing the location of the proposed driveway and the dimensions along with the construction details. All applications must satisfy the standards described above or the application may be rejected.

10. AUTOMATIC TELLER MACHINES (“CASH MACHINES”)

The location of ATMs has implications for road safety and parking. Ideally auto-tellers should be located along active building frontages in public areas where there is a high level of pedestrian movements and passive surveillance. These may be at main shopping streets, supermarkets, neighbourhood shopping areas or bank premises, but other locations may be acceptable. This guidance clarifies where new ATMs may be provided.

The suitability of new ATMs will be considered on the following criteria:

- The level of pedestrian movements;
- Positioning of the ATM in relation to active building frontages and passive surveillance;
- Width of pavements around the proposed ATM;
- The availability of parking adjacent to the proposed sites where there is no obstruction to surrounding uses or driveways;
- Appearance of the ATM and impact on the surrounding built and natural environment.

The auto-teller should not be positioned adjacent to or near junctions or bends in the road or in areas where there is poor visibility. The provision of a proposed ATM should not cause obstruction to existing pedestrian movements.

In addition, there shall be a presumption against granting planning permission for automatic telling machines where it can be clearly demonstrated:

- a) that the width of the footpavement in the vicinity of the machine is restricted in relation to the observed level of pedestrian movements along that section, and may furthermore be restricted by the presence of bus stops or light controlled pedestrian crossings, such that the congestion created by persons standing at the machine may cause an obstruction to the free flow of pedestrian movement along the footpavement.
- b) that the machine is to be located within 3 metres of the corner of the building at a street junction where persons standing at the machine may cause an obstruction to the free flow of pedestrian movement along the converging footpavements.
- c) that the machine is to be located where it is not readily visible from a public thoroughfare or is in an area poorly lit.
- d) that the installation of the machine would be too detrimental to the external appearance of the property or would result in the loss of, or unsatisfactory alteration to, an internal feature of architectural or historical importance.

Relevant Links:

Aberdeen City Council Directional Signage Guidance for Paths 2011

<http://www.aberdeencity.gov.uk/nmsruntime/saveasdialog.asp?IID=39148&sID=3159>

Aberdeen City Council Travel Plan Builder

<http://www.aberdeencitytravelplans.co.uk>

Aberdeen Local Transport Strategy (2008-2012)

http://www.aberdeencity.gov.uk/web/files/sl_Planning/local_transport_strategy08.pdf

Aberdeen Local Transport Strategy (2008 -2012) Monitoring Update Paper 2009

<http://www.aberdeencity.gov.uk/nmsruntime/saveasdialog.asp?IID=25606&sID=2866>

Aberdeen Outdoor Access Forum

http://www.aberdeencity.gov.uk/planning_environment/environment/core_paths/pla_o outdooraccessforum.asp

Aberdeen Core Paths Plan 2009

http://www.aberdeencity.gov.uk/planning_environment/environment/core_paths/pla_c orepaths.asp

Designing Streets: A Policy Statement for Scotland 2010

<http://www.scotland.gov.uk/Resource/Doc/307126/0096540.pdf>

First Group Plc Aberdeen

<http://www.firstgroup.com/ukbus/aberdeen/>

Lowland Path Construction: A guide to Good Practice 2001

http://www.pathsforall.org.uk/component/option,com_docman/Itemid,69/gid,101/task,doc_details/

Nestrans – The Transport Strategy for Aberdeen City and Shire

<http://www.nestrans.org.uk/home.html>

Signage Guidance for Outdoor Access: A Guide to Good Practice 2009

http://www.pathsforall.org.uk/component/option,com_docman/Itemid,69/gid,106/task,doc_details/

Stagecoach Bus

<http://www.stagecoachbus.com/>

Transport Assessments and Implementation: A Guide 2005

<http://www.scotland.gov.uk/Publications/2005/08/1792325/23264>

For help with **language / interpreting** and other formats of communication support, please contact:

ভাষা/ইন্টারপ্রেটিং এবং অন্যান্য ফরমেটের
যোগাযোগ সাহায্যের জন্য দয়া করে
:01224 523 470
নম্বরে যোগাযোগ করবেন।

如果需要語言/傳譯及其他形式的傳訊支援服務，
請聯絡:01224 523 470

Если требуется помощь при выборе
языка / переводчика или других
способов общения, звоните по
телефону :01224 523 470

للحصول على مساعدة بخصوص اللغة/ الترجمة
و وسائل الاتصال الأخرى، الرجاء الاتصال
بالرقم التالي: 01224 523 470

زبان / ترجمانی (انٹرپرائٹنگ) میں مدد اور اپنی بات دوسروں
تک پہنچانے میں مدد کی دوسری طرزوں کیلئے، براہ کرم اس نمبر پر
رابطہ کریں : 01224 523 470

W razie potrzeby pomocy z językiem
angielskim albo z tłumaczeniem, albo
jakiejkolwiek innej pomocy do
porozumienia, proszę skontaktować:
01224 523 470

E-Mail: pi@aberdeencity.gov.uk

NOTICE OF REVIEW

UNDER SECTION 43A(8) OF THE TOWN AND COUNTRY PLANNING (SCOTLAND) ACT 1997 (AS AMENDED) IN
RESPECT OF DECISIONS ON LOCAL DEVELOPMENTS

THE TOWN AND COUNTRY PLANNING (SCHEMES OF DELEGATION AND LOCAL REVIEW PROCEDURE)
(SCOTLAND) REGULATIONS 2008

THE TOWN AND COUNTRY PLANNING (APPEALS) (SCOTLAND) REGULATIONS 2008

**IMPORTANT: Please read and follow the guidance notes provided when completing this form.
Failure to supply all the relevant information could invalidate your notice of review.**

Use **BLOCK CAPITALS** if completing in manuscript

Applicant(s)

Name

Address

Postcode

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail*

Agent (if any)

Name

Address

Postcode

Contact Telephone 1

Contact Telephone 2

Fax No

E-mail*

Mark this box to confirm all contact should be through this representative:

* Do you agree to correspondence regarding your review being sent by e-mail?

Yes No

Planning authority

Planning authority's application reference number

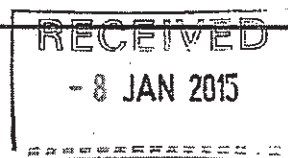
Site address

Description of proposed development

Date of application

Date of decision (if any)

Note. This notice must be served on the planning authority within three months of the date of the decision notice or from the date of expiry of the period allowed for determining the application.



Nature of application

- 1. Application for planning permission (including householder application)
- 2. Application for planning permission in principle
- 3. Further application (including development that has not yet commenced and where a time limit has been imposed; renewal of planning permission; and/or modification, variation or removal of a planning condition)
- 4. Application for approval of matters specified in conditions

Reasons for seeking review

- 1. Refusal of application by appointed officer
- 2. Failure by appointed officer to determine the application within the period allowed for determination of the application
- 3. Conditions imposed on consent by appointed officer

Review procedure

The Local Review Body will decide on the procedure to be used to determine your review and may at any time during the review process require that further information or representations be made to enable them to determine the review. Further information may be required by one or a combination of procedures, such as: written submissions; the holding of one or more hearing sessions and/or inspecting the land which is the subject of the review case.

Please indicate what procedure (or combination of procedures) you think is most appropriate for the handling of your review. You may tick more than one box if you wish the review to be conducted by a combination of procedures.

- 1. Further written submissions
- 2. One or more hearing sessions
- 3. Site inspection
- 4. Assessment of review documents only, with no further procedure

If you have marked box 1 or 2, please explain here which of the matters (as set out in your statement below) you believe ought to be subject of that procedure, and why you consider further submissions or a hearing are necessary:

Site inspection

In the event that the Local Review Body decides to inspect the review site, in your opinion:

- | | Yes | No |
|--|-------------------------------------|--------------------------|
| 1. Can the site be viewed entirely from public land? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 2. Is it possible for the site to be accessed safely, and without barriers to entry? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |

If there are reasons why you think the Local Review Body would be unable to undertake an unaccompanied site inspection, please explain here:

KEY AVAILABLE FOR LOCKED GATE.

Statement

You must state, in full, why you are seeking a review on your application. Your statement must set out all matters you consider require to be taken into account in determining your review. Note: you may not have a further opportunity to add to your statement of review at a later date. It is therefore essential that you submit with your notice of review, all necessary information and evidence that you rely on and wish the Local Review Body to consider as part of your review.

If the Local Review Body issues a notice requesting further information from any other person or body, you will have a period of 14 days in which to comment on any additional matter which has been raised by that person or body.

State here the reasons for your notice of review and all matters you wish to raise. If necessary, this can be continued or provided in full in a separate document. You may also submit additional documentation with this form.

SEE ATTACHMENTS.

- 1/. INITIAL SUPPORTING STATEMENTS.
- 2/. EXCHANGE OF EMAILS WITH PLANNING OFFICER RELATING TO REDUCED CAR RENTAL NUMBERS.
- 3/. INITIAL RESPONSE FROM ROADS DEPARTMENT SHOWING "STANDARD" RESPONSE WITH REFERENCE TO TYRE BAYS ETC. THERE WAS NO CONSIDERATION AS TO THE ACTUAL OPERATION OUR CLIENT CARRIES OUT.
4. OUR DWG: B-040-EX01 A
WE DO NOT CONSIDER THAT OUR CLIENTS BUSINESS MODEL WAS CONSIDERED - THIS SHOWS THAT THIS IS NOT A "BIG BRAND" GARAGE OR CAR HIRE SERVICE. IT IS A LOCAL FAMILY RUN BUSINESS WHICH WISHES TO RE-LOCATE. THERE IS NO PLAN TO GROW THE BUSINESS BEYOND THE CAPABILITIES OF THE SITE.

Have you raised any matters which were not before the appointed officer at the time the determination on your application was made?

Yes No

If yes, you should explain in the box below, why you are raising new material, why it was not raised with the appointed officer before your application was determined and why you consider it should now be considered in your review.

List of documents and evidence

Please provide a list of all supporting documents, materials and evidence which you wish to submit with your notice of review and intend to rely on in support of your review.

AS PREVIOUS ATTACHMENTS NOTED OVERLEAF.

Note. The planning authority will make a copy of the notice of review, the review documents and any notice of the procedure of the review available for inspection at an office of the planning authority until such time as the review is determined. It may also be available on the planning authority website.

Checklist

Please mark the appropriate boxes to confirm you have provided all supporting documents and evidence relevant to your review:

- Full completion of all parts of this form
- Statement of your reasons for requiring a review
- All documents, materials and evidence which you intend to rely on (e.g. plans and drawings or other documents) which are now the subject of this review.

Note. Where the review relates to a further application e.g. renewal of planning permission or modification, variation or removal of a planning condition or where it relates to an application for approval of matters specified in conditions, it is advisable to provide the application reference number, approved plans and decision notice from that earlier consent.

Declaration

I the applicant/agent [delete as appropriate] hereby serve notice on the planning authority to review the application as set out on this form and in the supporting documents.

Signed

[Redacted Signature] ON BEHALF OF COMMING + CO (ARBONS) LTD

Date

05/01/15

LTR/14-093/4/MT

05 January 2015



cummingand**co**

architects

registered address
albion house
6 castlehill
aberdeen
ab11 5gj
scotland uk

Planning Department
Aberdeen City Council
Planning, & Sustainable Development
Business Hub 4
Ground Floor North, Marischal College
Broad Street, Aberdeen
AB10 1AB

Dear Sirs

54 Salisbury Terrace, Aberdeen.

We write with reference to the above and now enclose our Notice of Review comprising the following.

1. Application form duly completed.
2. Copy of our drawing EX01 rev A
3. Copy of supporting statement.
4. Copy of exchange of emails with planning officer.

As we have explained in the form, we feel that the reason for refusal of this application was based on "general" comments from roads. This is a specific application for a specific local company and we do not feel that this has been taken into consideration of this application.

Our client is a family business and is constrained by the size of the premises and has no plan to expand the business beyond its current size.

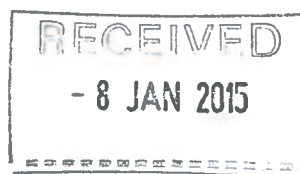
We trust you find this in order and look forward to hearing from you in due course.

Yours faithfully /



Mark Taylor
for Cummingandco (Aberdeen) Ltd

Enc



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MEMO



ABERDEEN
CITY COUNCIL

To	Andrew Miller Planning & Infrastructure	Date	24/10/2014
		Your Ref.	P141473 (ZLF)
		Our Ref.	TR/RB/1/51/2
From	Roads Projects		
Email			
Dial			
Fax			

Roads Projects
Communities, Housing and
Infrastructure
Aberdeen City Council
Business Hub 4
Ground Floor North
Marischal College
Broad Street
Aberdeen AB10 1AB

Planning application no. P141473
54 Salisbury Terrace, Aberdeen
Change of use from Class 5 (General Industrial) to Car Repair (Class 5) and Car Hire (Sui Generis).

I have considered the above planning application and have the following observations:

1 Development Proposal

1.1 I note that the application is for the change of use from Class 5 (General Industrial) to Car Repair (Class 5) and Car Hire (Sui Generis).

2 Development Layout

2.1 It is not clear from the plans submitted what the proposed development layout will be. The applicant should submit a plan showing where the rental cars will be parked taking consideration of a worst case scenario whereby all rental cars are on site. The applicant has mentioned that they will have a maximum of ten so I would ask that these are shown.

2.2 The applicant has mentioned that as well as running a car rental firm that there will be a vehicle repair garage proposed on site. The applicant should also show on an updated plan the off street parking that is required in accordance with the Transport and Accessibility supplementary guidance. The applicant should be aware that as the site is in the Outer City the following maximum parking standards should be referenced:

- 0.5 spaces per 1 member of staff;
- 1 space per 33m² vehicle display area;
- 1 per 25m² spares department;
- 3 spaces per servicing bay;

Pete Leonard
Corporate Director

- 2 spaces per tyre and exhaust bay.

3 Drainage

- 3.1 The applicant should submit a drainage statement detailing the levels of surface water treatment existing and proposed.

4 Conclusion

- 4.1 There are outstanding issues in respect of this planning application. I will be in a position to make further comment on receipt of the requested information.

Richard Bailie
Engineer

INCOMING E-MAIL MESSAGE

Project No.: 14-093
Client: Second Choice Car Hire
Description: Change of use
Location: 54 Salisbury Terrace, Aberdeen, AB10 6QH

From: Andrew Miller [redacted]
Subject: P141473 - The Washbay, 54 Salisbury Ter., Aberdeen

To: Mark Taylor
Attachments: 141473 Roads.pdf;
Doc Ref.: EML-INC/14-093/18
Sent: 29th Oct 2014 at 08:54 **Received:** 29th Oct 2014 at 08:55

Message:

Hi Mark,

Please see attached response from Roads Projects seeking additional information. I queried the drainage part of the response and received the following from roads:

I wouldn't require a full DIA just a statement. The use class change may result in additional drainage being required as working on vehicles will result in oil/petrol on site which require additional drainage requirements. If this has been catered for in the previous use then this is what can be stated in the drainage statement.

Kind Regards

Andrew

Andrew Miller |Planner (Development Management South)

Planning and Sustainable Development | Communities, Housing and Infrastructure | Aberdeen City Council | Business Hub 4 | Ground Floor North | Marischal College | Broad Street | Aberdeen | AB10 1AB

Direct Dial: Switchboard: 08456 08 09 10

Email: andrew.miller@aberdeencity.gov.uk Web: www.aberdeencity.gov.uk/planningapplications

The advice contained in this email is given without prejudice to the final decision on or future consideration of any application received by Aberdeen City Council.

We are always trying to improve the quality of customer service that we provide and would like to know your views on the service you have received to help us learn what we need to do better. We would very much appreciate you taking a few moments to fill in our short feedback form by visiting <http://www.aberdeencity.gov.uk/customerfeedback> and selecting Development Management (Planning Applications Team). Many thanks in advance.

IMPORTANT NOTICE: This e-mail (including any attachment to it) is confidential, protected by copyright and may be privileged. The information contained in it should be used for its intended purposes only. If you receive this email in error, notify the sender by reply email, delete the received email and do not make use of, disclose or copy it. Whilst we take reasonable precautions to ensure that our emails are free from viruses, we cannot be responsible for any viruses transmitted with this email and recommend that you subject any incoming email to your own virus checking procedures. Unless related to Council business, the opinions expressed in this email are those of the sender and they do not necessarily constitute those of Aberdeen City Council. Unless we expressly say otherwise in this email or its attachments, neither this email nor its attachments create, form part of or vary any contractual or unilateral obligation. Aberdeen City Council's incoming and outgoing email is subject to regular monitoring.

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This message has been scanned for viruses and dangerous content by Converged, and is believed to be clean.

MEMO



ABERDEEN
CITY COUNCIL

To	Andrew Miller Planning & Infrastructure	Date	18/11/2014
		Your Ref.	P141473 (ZLF)
		Our Ref.	TR/RB/1/51/2
From	Roads Projects		
Email			
Dial			
Fax			

Roads Projects
Communities, Housing and Infrastructure
Aberdeen City Council
Business Hub 4
Ground Floor North
Marischal College
Broad Street
Aberdeen AB10 1AB

Planning application no. P141473

54 Salisbury Terrace, Aberdeen

Change of use from Class 5 (General Industrial) to Car Repair (Class 5) and Car Hire (Sui Generis).

I have considered the above planning application and have the following observations:

1 Development Proposal

- 1.1 I note that the application is for the change of use from Class 5 (General Industrial) to Car Repair (Class 5) and Car Hire (Sui Generis).

2 Development Layout

- 2.1 An updated plan has been submitted showing the proposed internal layout of the car rental element of the development, should all vehicles be on site. It is evident that this layout is unacceptable with no suitable manoeuvrability within the site.
- 2.2 I previously requested parking proposals for the car repair section of the application. The applicant has stated that it is unreasonable to ask for parking for the car repair element of the application as it is not a large car repair garage. I do not think it unreasonable to require parking for the garage element of the application as parking would be required on site to park cars for repair, staff parking and cars that have been dropped off or are waiting to be picked up.
- 2.3 To be clear the Roads section would be looking robustly at how these use types may operate on site should they both be at or near capacity. I have serious concerns that the site area is constricted, and operating the two proposed use types from here would be unmanageable without the local streets having to accommodate overspill parking.

Pete Leonard
Corporate Director

3 Conclusion

3.1 For the reasons stated above I would recommend refusal for this application.

Richard Bailie
Engineer

OUTGOING E-MAIL MESSAGE

Project No.: 14-093
Client: Second Choice Car Hire
Description: Change of use
Location: 54 Salisbury Terrace, Aberdeen, AB10 6QH

From: Mark Taylor |
Subject: Re: RE: P141473 - The Washbay, 54 Salisbury Ter., Aberdeen

To: Andrew Miller

Cc:

Attachments:

Doc Ref.: EML-OUT/14-093/12

Sent: 24th Nov 2014 at 10:03

Created:

24th Nov 2014 at 09:49

Message:

REFERENCE EML-OUT/14-093/12
For the attention of Andrew Miller

Hi Andrew, thanks for sending this on to me. We find it difficult to understand that a car hire company would have all cars in the parking area. We can see that it would be reasonable to assume that say 50% of the cars might not be rented out and parking for these cars could be accommodated within the site. What was asked for was to show that the site could accommodate 10 cars if they were un rented.

Currently our client operated out of an area of approx 150m2. the site area of the new site is 265m2 - considerably greater than the current set up.

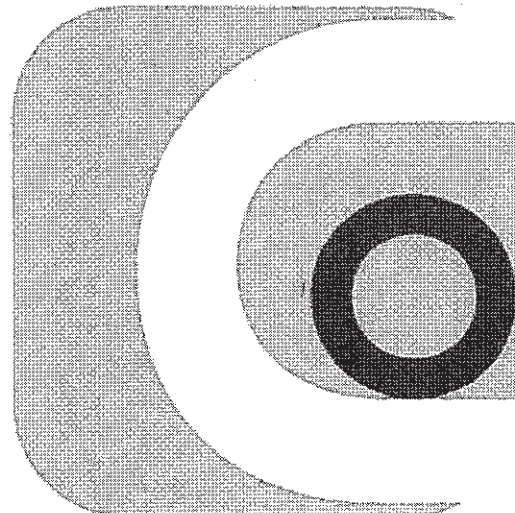
There has never been any complaints from neighbours etc in the current location and we would not anticipate this causing any problems in the current location.

There is the option for our client to reduce the amount of hire cars he has as this is not the core business.

Would a meeting with Richard Baillie be appropriate.

Regards,

Mark Taylor
Director
Cummingandco (Aberdeen) Ltd • Architects
Albion House, 6 Castlehill, Aberdeen, AB11 5GJ.
w: <http://www.cummingandco.com>
e:
t:
f: f



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INCOMING E-MAIL MESSAGE

Project No.: 14-093
Client: Second Choice Car Hire
Description: Change of use
Location: 54 Salisbury Terrace, Aberdeen, AB10 6QH

From: Andrew Miller [mailto:andrew.miller@secondchoicecarhire.co.uk]
Subject: P141473 - The Washbay, 54 Salsbury Ter.

To: Mark Taylor [mailto:mark.taylor@aberdeencity.gov.uk]

Attachments:

Doc Ref.: EML-INC/14-093/26

Sent: 4th Dec 2014 at 14:39

Received:

4th Dec 2014 at 14:40

Message:

Hi Mark,

Following on from our discussion earlier in the week regarding the Washbay and a way forward for the car hire, I discussed the potential of car hire operating alongside the car repair from the site and hire cars stored elsewhere with Garfield. He is of the opinion that this would not be a workable solution, as there would still be the car hire element operating from the premises and even if the cars are stored off site, there ultimately will be hire cars within the site alongside the car repair. There would also likely be instances where the car hire would use parking that would be necessary for the car repair to operate and would be hard to enforce from a planning perspective. As such he has asked me to proceed to determine the application as it currently stands (refusal).

I appreciate that this is not the outcome your client is seeking. I am happy to discuss further if you wish.

Kind Regards

Andrew

Andrew Miller | Planner (Development Management South)

Planning and Sustainable Development | Communities, Housing and Infrastructure | Aberdeen City Council |
Business Hub 4 | Ground Floor North | Marischal College | Broad Street | Aberdeen | AB10 1AB

Direct Dial: 01224 507114 | Switchboard: 08456 08 09 10

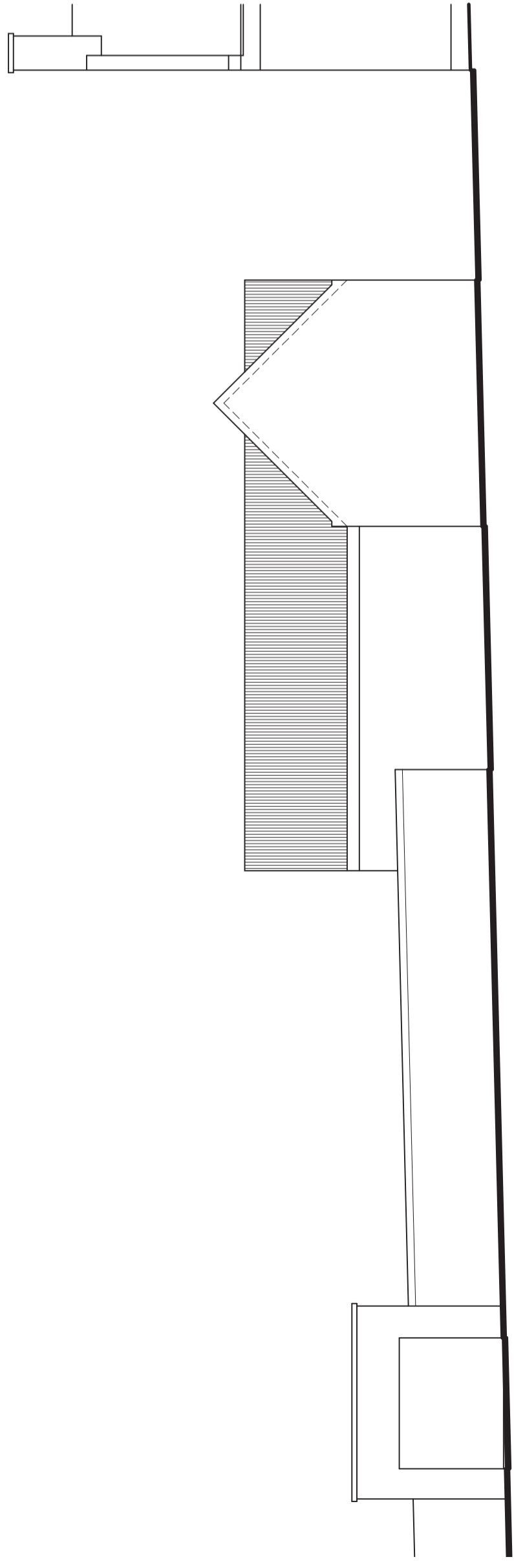
Email: andrew.miller@aberdeencity.gov.uk | Web: www.aberdeencity.gov.uk/planningapplications

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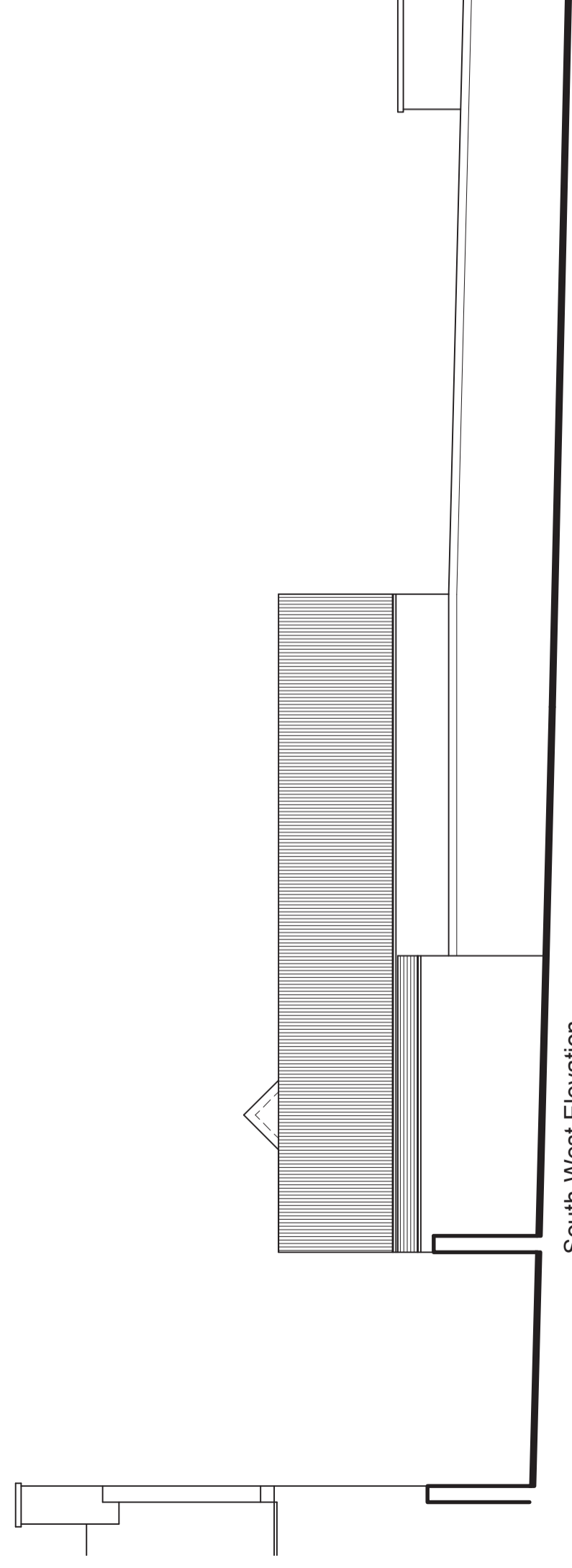
05/01/2015



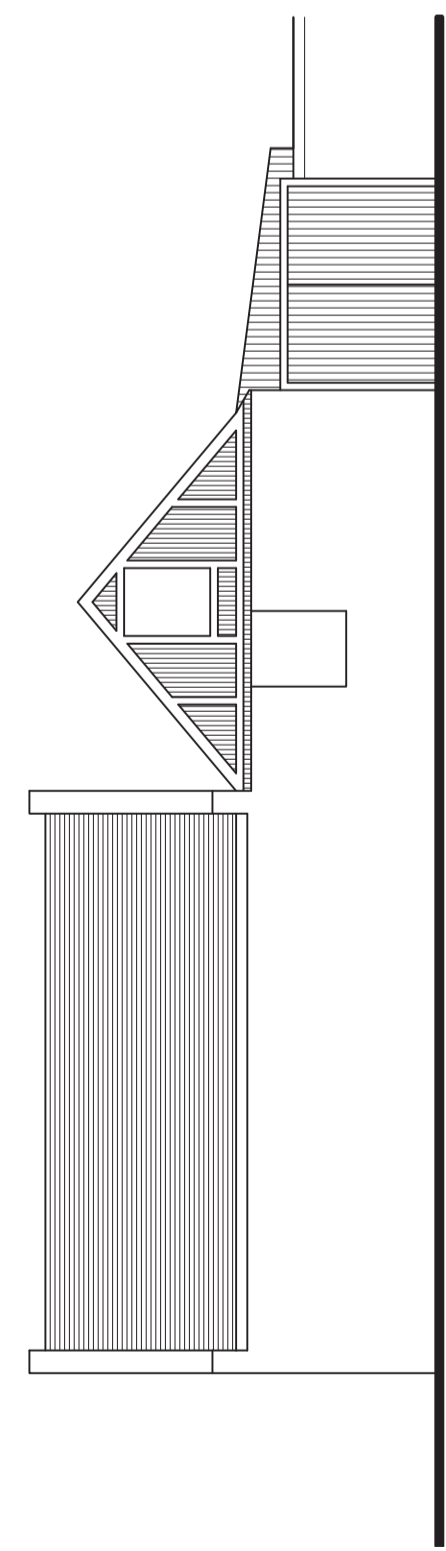
Location Plan scale 1:1250



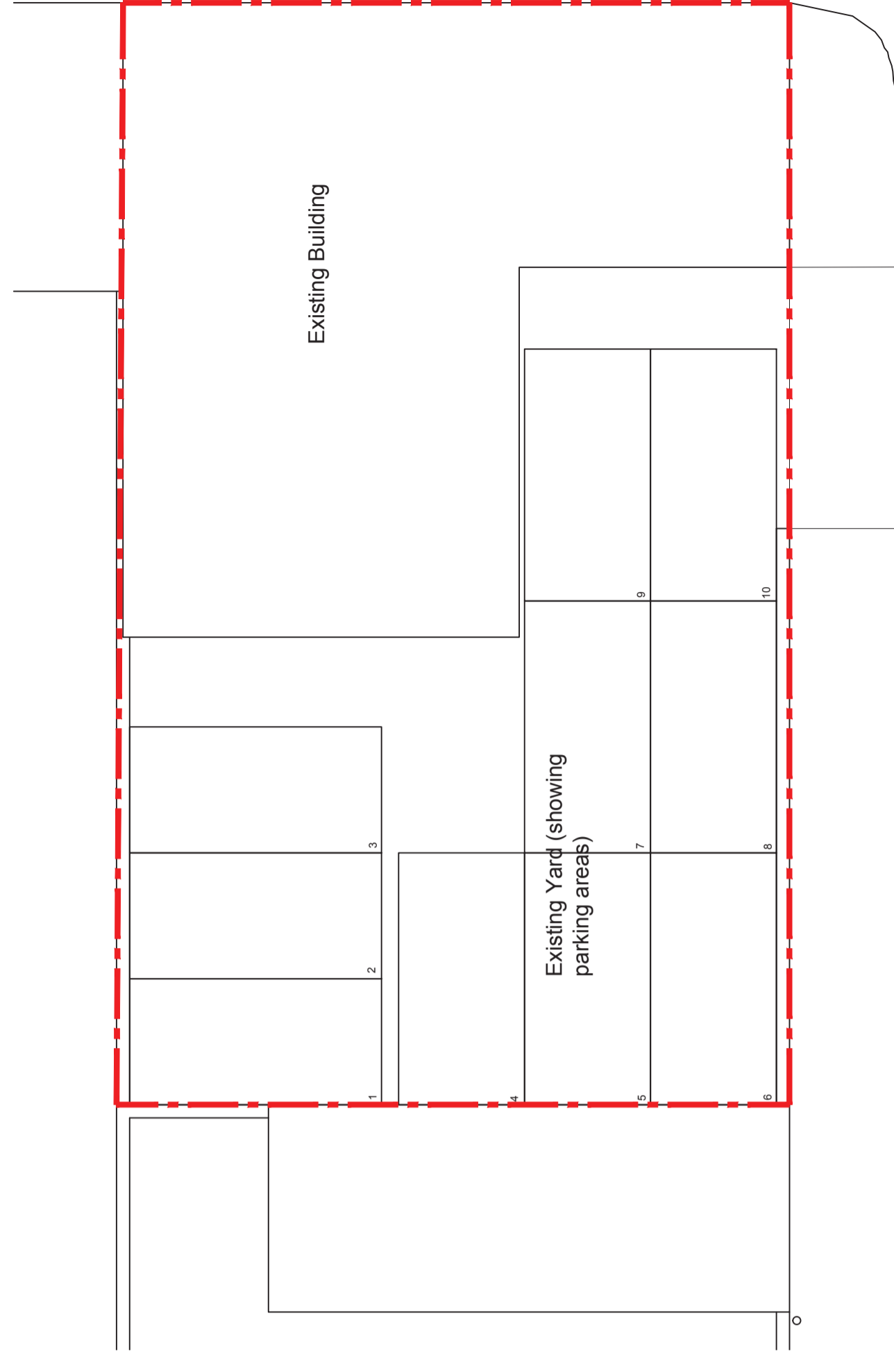
Salisbury Terrace (North-East) Elevation



South-West Elevation



Lane (North-West) Elevation



Existing Ground Floor Plan
scale 1:100

CLIENT	
PROJECT	Washbay, Salisbury Terrace, Aberdeen
CONTENT	Existing Plans & Elevations
SCALE	1:100
JOB REFERENCE	13-040
DATE	December 2013
DRAWING	REV
	EX 01
	A

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SUPPORTING STATEMENT, 54 SALISBURY TERRACE, ABERDEEN

PRINCIPAL PLAN

This application is to allow the current owner to change the use of the site to allow a small family run mechanical garage / car hire business to operate from the current premises.

The occupier of the building if this application is successful will be Second Choice Car Hire, a business run by Andy Kilminster, his wife and his son as an apprentice mechanic. They currently operate out of a premises in Fraser Place where they have operated for over 20 years which with modern garaging requirements is now less than ideal.

After several attempts to find suitable premises, they feel that this site would be ideal for their business. The proposal would be that they would relocate from their current premises to the new location and continue trading as they do today.

Regarding the mechanical side of the business and with no plans for expansion, there is only a certain amount of vehicles that can be worked on at any one time thus there would not be cars parked on lanes and surrounding streets as may be a concern of some neighbours.

The car rental side of the business is now second to the mechanical and the business runs a maximum of 10 hire cars, generally all smaller vehicles in the Fiesta / Astra size and the majority of these are out on hire for a minimum of 1 week and usually longer.

To summarise, this is an opportunity for a locally established family run business to continue to operate in Aberdeen while providing employment and a future for Andy's son & family.

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